

RECREATIONAL CANNABIS DISPENSARY

1112 RESERVOIR AVE
CRANSTON, RI 02910

DEVELOPMENT PLAN REVIEW

DECEMBER 15, 2023

LOCUS MAP



OWNER:

ANCORA ADVISORS LLC
187 SHADOW BROOK
DRIVE WARWICK, RI
02886

ARCHITECTURE AND INTERIORS:

ZDS inc.

2 CHARLES STREET SUITE A1 1405 RHODE ISLAND AVENUE NW
PROVIDENCE, RI 02904 WASHINGTON, DC 20005
+1.401.680.6699 +1.202.660.0555
www.z-ds.com www.z-ds.com



THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

GENERAL NOTES

A: GENERAL

- THE CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE PRIOR TO BID SUBMITTAL TO BECOME FAMILIAR WITH CONDITIONS AT THE SITE AFFECTING PERFORMANCE OF THE WORK.
- THE WORK SHALL COMPLY WITH ALL GOVERNING STATE AND LOCAL CODES. ACCESSIBLE SPACES AND WORK SHALL COMPLY WITH ALL APPLICABLE ACCESSIBILITY CODES.
- UNLESS OTHERWISE AGREED TO IN WRITING WITH THE OWNER, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS (BUILDING, OCCUPANCY, ETC.) AND FEES FOR SAME, AS REQUIRED BY STATE AND LOCAL RULES AND REGULATIONS.
- DAMAGES TO THE BUILDING OR PROPERTY DUE TO CONTRACT OPERATIONS MUST BE REPORTED IMMEDIATELY TO THE BUILDING OWNER.
- THE OWNER RESERVES THE RIGHT TO PERFORM ADDITIONAL WORK THAT IS NOT PART OF THIS CONTRACT WITH HIS OWN FORCES, UNDER SEPARATE CONTRACTS AND/OR WITH OTHER CONTRACTORS OR VENDORS. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER AND OTHER CONTRACTORS AND COORDINATE HIS WORK WITH THE OWNER SO THAT WORK BY OTHERS CAN BE INCORPORATED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL REPLACE OR REMEDY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER COMPLETION AND ACCEPTANCE OF THE WORK. SUCH WORK IS TO BE COMPLETED AT NO COST TO THE OWNER.
- FURNISH AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS OF INSTALLATION TO CONFORM WITH THE APPROPRIATE NATIONAL TRADE HANDBOOKS; I.E. ARCHITECTURAL WOODWORK INSTITUTE'S QUALITY STANDARDS, UNITED STATES GYPSUM, GYPSUM CONSTRUCTION HANDBOOK, ETC.

B: COORDINATION

- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE WORK, CONSTRUCTION SEQUENCING, SUBCONTRACTORS, AND INSTALLED LOCATION AND INTERFACE OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SYSTEMS AND EQUIPMENT WITH STRUCTURE, ARCHITECTURE, CEILING HEIGHTS, AND OTHER WORK.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND COORDINATE ALL CONTRACT DOCUMENTS BEFORE INSTALLATION OF THE WORK. THE CONTRACTOR SHALL CLARIFY DISCREPANCIES WITH THE ARCHITECT PRIOR TO COMMENCING THE WORK IN QUESTION.
- MATTERS WITHIN THE SPECIFICATIONS WHICH MAY HAVE BEEN OMITTED IN THE DRAWINGS OR VICE VERSA SHALL BE CONSTRUED AS THOUGH CONTAINED IN BOTH.
- SHOULD THE SPECIFICATIONS AND THE DRAWINGS DISAGREE WITH THEMSELVES OR WITH EACH OTHER, PROVIDE THE BETTER QUALITY OR GREATER QUANTITY OF WORK, AS DETERMINED BY THE ARCHITECT, UNLESS OTHERWISE DIRECTED BY APPROVED CHANGE ORDER.
- ALTERATIONS/DEVIATION FROM THE CONTRACT DOCUMENTS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN IN THE CONTRACT DOCUMENTS OR NOT, AND TO PROTECT THE UTILITIES FROM DAMAGE. REPAIR OR REPLACE UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH PERFORMANCE OF THE WORK AT THE EXPENSE OF THE CONTRACTOR.

B: COORDINATION (CONT.)

- PROVIDE BACK-BLOCKING FOR SUPPORT AND ATTACHMENT OF MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO ARCHITECTURAL WOODWORK, WALL AND/OR CEILING MOUNTED FINISHES, EQUIPMENT AND ACCESSORIES, GRAB BARS, CABINETS, FIXTURES, SIGNAGE, ETC. COORDINATE LOCATIONS WITH ARCH/OWNER.
- PROVIDE ROUGH-INS AND WIRING FOR DATA AND PHONE OUTLETS WHERE REQUIRED BY OWNER. OWNER'S VENDOR SHALL PROVIDE TERMINAL DEVICES, UNLESS REQUIRED OTHERWISE.

C: MEASUREMENTS & DIMENSIONS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND SHALL INFORM THE ARCHITECT OF DISCREPANCIES AFFECTING PROPER COMPLETION OF THE WORK.
- DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS. TAKE WORKING DIMENSIONS FROM THE FIGURED DIMENSIONS, OR BY ACTUAL MEASUREMENTS TAKEN IN THE FIELD. DEVIATION FROM THE DOCUMENTS AND THE DIMENSIONS GIVEN IN THE DRAWINGS MUST BE APPROVED BY THE ARCHITECT IN WRITING PRIOR TO COMPLETION OF THE WORK IN QUESTION.

D: MATERIAL REQUIREMENTS

- WOOD IN CONTACT WITH CONCRETE OR STEEL TO BE PRESSURE TREATED.
- COMBUSTIBLE MATERIALS ARE NOT ALLOWED IN CONCEALED SPACES AS DETERMINED BY CODE.
- STRUCTURE SHALL BE RATED AS NOTED ON CODE DRAWINGS. MAINTAIN RATINGS OF FIRE-RATED ASSEMBLIES.
- PAINTING, VARNISHING OR THE USE OF OTHER NOXIOUS SUBSTANCES MUST BE ISOLATED FROM ADJOINING SPACES.
- PROVIDE ATTIC STOCK FOR MATERIALS. COORDINATE QUANTITIES AND SCHEDULE WITH THE OWNER.

E: DEFINITIONS AND METHODOLOGIES

- DIMENSIONS, ANNOTATIONS, NOTES, FINISHES, FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
- TYPICAL, OR "TYP" MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS REQUIRED OTHERWISE.

ABBREVIATIONS

ACU	ACOUSTICAL	MAX	MAXIMUM
ACC	ACCESSIBLE	MDO	MEDIUM DENSITY OVERLAY
ACS	ARCHITECTURAL CAST STONE	MECH	MECHANICAL
ACT	ACOUSTIC CEILING TILE	MANF	MANUFACTURER
ADJ	ADJUSTABLE	MIN	MINIMUM
AFF/A.F.F.	ABOVE FINISHED FLOOR	MISC	MISCELLANEOUS
ALUM	ALUMINUM	MO	MASONRY OPENING
ANOD	ANODIZED	MTL	METAL
ARCH	ARCHITECT (URAL)	N	NORTH
AUTO	AUTOMATIC	NA/ N/A	NOT APPLICABLE
BD	BOARD	NIC	NOT IN CONTRACT
BLDG	BUILDING	NOM	NOMINAL
BLKG	BLOCKING	NTS	NOT TO SCALE
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	OC	ON CENTER
CJ	CONTROL JOINT	OD	OUTSIDE DIAMETER
CL	CENTER LINE	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CLG	CEILING	OFOI	OWNER FURNISHED OWNER INSTALLED
CLO	CLOSET	OPG	OPENING
CLR	CLEAR(ANCE)	OH	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COL	COLUMN	PART	PARTITION
CONC	CONCRETE	PNT/PTD	PAINT
CONST	CONSTRUCTION	PL	PLATE
CONT	CONTINUE/CONTINUOUS	PLAM	PLASTIC LAMINATE
CPT	CARPET	PLUM-	PLUMB(ING)
CT	CERAMIC TILE	PLY/PPLYWD	PLYWOOD
CTR	CENTER	PR	PAIR
DBL	DOUBLE	PSI	POUNDS/SQUARE INCH
DIA	DIAMETER	PT	PRESSURE TREATED
DIM	DIMENSION	PVC	POLYVINYL CHLORIDE
DS	DOWN SPOUT	RAD	RADIUS
DTL	DETAIL	RD	ROOF DRAIN
DWG(S)	DRAWING(S)	REF	REFER
E	EACH	REFR	REFRIGERATOR
EA	EXPANSION JOINT	REINF	REINFORCE
EJ	ELECTRIC(AL)	REQ/REQ'D	REQUIRED
ELEC	ELEVATION	RH	RIGHT HAND
ELEV	ELEVATOR	RHR	RIGHT HAND REVERSE
ELVT	EQUAL	RM	ROOM
EQ	EQUIPMENT	RO	ROUGH OPENING
EQUIP	EXTERIOR OR EXTENDED	ROW	RIGHT OF WAY
EXJ	EXISTING	R&S	ROD & SHELF
EXG	FLOOR DRAIN, REF: PLUMBING FOR SIZE AND TYPE	S	SOUTH
FD	FIRE EXTINGUISHER	SCW	SOLID CORE WOOD
FE	FIRE EXTINGUISHER CABINET	SCHED	SCHEDULE
FEC	FURNITURE, FIXTURE & EQUIPMENT	SECT	SECTION
FIN	FOOT	SHIT	SHEET
FFE	FIRE RATED	SIM	SIMILAR
FT	FIRE RESISTANT TREATED WOOD	SPEC	SPECIFICATION
FR	FIBERGLASS REINFORCED PANEL	SQ	SQUARE
FRP	GALVANIZED	SS	STAINLESS STEEL
GA	GENERAL CONTRACTOR	STD	STANDARD
GLAV	GLASS/GLAZING	STL	STEEL
GC	GUEST	STO	STORAGE
GL	GYPSUM WALL BOARD	STRUC, S-	STRUCTURAL
GU	GYPSUM	SUSP	SUSPENDED
GWB	HOSE BIB	SYM	SYMMETRICAL
GYP	HOLLOW CORE	SYS	SYSTEM
HB	HARDWARE	TELE	TELEPHONE
HC	HEAD HEIGHT	TEMP	TEMPERED
HDWR	HOLLOW METAL	T&G	TONGUE & GROOVE
HH	HOUR	TC	TOP OF CURB
HM	HEIGHT	TLT	TOILET
HR	HEAT/VENT/AIR CONDITION	TP	TOP OF PAVEMENT
HT	INSIDE DIAMETER	TV	TELEVISION
HVAC	INCLUDE(D)	TYP	TYPICAL
ID	INSULATION	UNO/UON	UNLESS NOTED OTHERWISE
INCL	INTERIOR	VCT	VINYL COMPOSITION TILE
INSUL	JOINT	VIF/V.I.F.	VERIFY IN FIELD
INT	KNOCK DOWN	VVC	VINYL WALL COVERING
JT	KICK PLATE	W	WEST
KD	LAMINATE	W/	WITH
KP	LAVATORY	WC	WATER CLOSET
LAM	LAVATORY	WD	WOOD
LAV	LEFT HAND	WM	WIRE MOLD BASE, REF: ELECT.
LAV	LEFT HAND REVERSE	W/O	WITHOUT
LH	MASONRY	WRB	WATER RESISTANT
LHR	MATERIAL	WTR	WATER
MAS		WWF	WELDED WIRE FABRIC
MAT			

SYMBOLS LEGEND

VIEW REFERENCES:

1 View Name
1/8" = 1'-0" PLAN/ELEVATION/DETAIL
TITLE TAG

1
A101 CALLOUT REFERENCE

1
A101 INTERIOR/EXTERIOR
ELEVATION REFERENCE TAG

1
A101 BUILDING SECTION TAG

1
A101 WALL SECTION TAG

1
A101 DETAIL REFERENCE

ELEMENT TAGS:

Room name	ROOM NAME/NO.	X	CURTAIN WALL PANEL TAG
101			
150 SF (101A)	DOOR TAG	MWXX	CASEWORK TAG
x' - x"	CEILING HEIGHT TAG	?	FINISH/MATL TAG
X	WINDOW / CURTAIN-WALL TAG	XX-XX	FURNITURE, FIXTURE, & EQUIPMENT TAG

REVISIONS:

TYPE PREFIXES: A = ADDENDUM B = BULLETIN R = REVISION

↑ 001
TYPE NUMBER

INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	DPR 12/15/2023
C1	COVER & GENERAL	X
G1.00	CODE, ZONING & EGRESS INFORMATION	X
C-1	EXISTING SURVEY	X
S-1	RETAINING WALL AND PARKING LAYOUT PLAN	X
L1	LANDSCAPE PLAN	X
L2	LANDSCAPE DETAILS AND CALCULATIONS	X
D1.00	DEMO - GROUND LEVEL PLAN	X
D1.01	DEMO - ROOF PLAN	X
D1.10	DEMO IMAGES - EXTERIOR	X
D1.11	DEMO IMAGES - INTERIOR	X
D1.12	DEMO IMAGES - INTERIOR	X
D2.00	DEMO REFLECTED CEILING PLAN	X
D3.00	DEMO ELEVATIONS	X
A0.01	ACCESSIBILITY STANDARDS	X
A0.10	PARTITIONS & ASSEMBLIES	X
A1.00	ARCHITECTURAL SITE PLAN	X
A1.01	GROUND LEVEL FLOOR PLAN	X
A1.02	ROOF PLAN	X
A2.00	REFLECTED CEILING PLAN	X
A3.00	EXTERIOR ELEVATIONS	X
A4.00	BUILDING SECTIONS	X
A6.00	RESTROOM & BREAK ROOM PLANS & ELEVATIONS	X
A8.00	DOOR TYPES & SCHEDULE	X
A10.00	DETAILS	X
A10.01	TYPICAL DETAILS	X

EXISTING BUILDING DATA		
CURRENT USE GROUP:	MERCANTILE / BUSINESS; ASSUMED	
CONSTRUCTION TYPE:	V-B;	
HEIGHT:	14' - 3"	
FOUNDATION WALLS:	CONCRETE	
EXTERIOR WALLS:	BRICK & CONCRETE MASONRY UNITS	
INTERIOR WALLS:	METAL STUD	
FIRST FLOOR:	SLAB ON GRADE	
ROOF:	WOOD JOIST	
FLOOR	AREA	PREVIOUS OCCUPANCY
GROUND LEVEL	+/- 3,115 SF	MERCANTILE / BUSINESS

CODE SUMMARY		
ENFORCING AGENCY: CITY OF CRANSTON, RI; DEPARTMENT OF INSPECTIONS & ZONING		
APPLICABLE CODES		
- FIRE & LIFE SAFETY CODE	NFPA 1 AND NFPA 101 LIFE SAFETY CODE 2018	
- RI STATE REHABILITATION CODE (RISRC-1)	RI STATE REHABILITATION CODE	
- RI STATE BUILDING (RI SBC-1)	INTERNATIONAL BUILDING CODE 2018 + RI AMEND.	
- PLUMBING CODE (RI SBC-3)	INTERNATIONAL PLUMBING CODE 2018 + RI AMEND.	
- MECHANICAL CODE (RI SBC-4)	INTERNATIONAL MECHANICAL CODE 2018 + RI AMEND.	
- ELECTRICAL CODE (RI SBC-5)	INTERNATIONAL ELECTRICAL CODE 2020 + RI AMEND.	
- ENERGY CONSERVATION CODE (RI SBC-8)	INTERNATIONAL ECC 2018 + RI AMEND.	
- ACCESSIBILITY CODE	ANSI 117.1 VERSION 2009	
CODE DESCRIPTION	DESCRIPTION OR NOTES	CODE SECTION
PROPOSED USE GROUP	MERCANTILE (M)	IBC SECTION 309
ACCESSORY OCCUPANCIES	BUSINESS (B) / STORAGE (S)	IBC SECTION 304, 311
CONSTRUCTION TYPE	TYPE V-B, NON-SPRINKLERED	IBC SECTION 602.5, TABLE 601
BUILDING AREA (GSF)	TOTAL AREA +/- 3,115 SF	SEE PLANS
ALLOWABLE HEIGHT, STORIES, & AREA PER USE	40' - 0" HEIGHT, 1-STORY, 9,000 SF	IBC TABLE 504.3, 504.4, 506.2
ACTUAL HEIGHT & STORIES	+/- 14' - 3" ABOVE GRADE, 1-STORY	SEE ELEVATIONS

PROJECT DESCRIPTION

INTERIOR RENOVATION OF AN EXISTING 1-STORY, TYPE-VB BUILDING INTO A RETAIL ESTABLISHMENT FOR RECREATIONAL MARIJUANA. A NEW STANDING SEAM ROOF WILL BE PROVIDED ALONG WITH MINOR UPDATES SUCH AS PAINTING TO THE EXTERIOR OF THE BUILDING.

ALL MECHANICAL, ELECTRICAL, & PLUMBING WILL BE DESIGN-BUILD BY SUBCONTRACTORS.

ZONING SUMMARY	
DESIGNATED ZONE:	COMMERCIAL (C-1): OFFICE BUSINESS
	PERMITTED USE FOR MEDICAL MARIJUANA DISPENSARY

EGRESS REQUIREMENTS	REQUIRED	PROVIDED	SECTION
NUMBER OF EXITS REQUIRED	2	4	IBC 1006.2.1
MAXIMUM TRAVEL DISTANCE	M - MERCANTILE: 200'-0"	57'-3" MAX	IBC 1017.2
MINIMUM CORRIDOR WIDTH	36"	54" MIN	IBC 1020.2
MINIMUM STAIR WIDTH	N/A	IBC 1005.3.1	
MINIMUM DOOR WIDTH	.2"/OCC	36" MIN	IBC 1005.3.2
MAXIMUM DEAD END	50'-0"	IBC 1020.4	
MAXIMUM COMMON PATH OF TRAVEL	75'-0"	41'-4"	IBC 1006.2.1
MINIMUM EGRESS CEILING HEIGHT	7'-6" (90")	8'-6" MIN	IBC 1003.2
PROTRUDING OBJECTS:			
1.	80" MIN HEADROOM		
2.	4" MAX PROJECTION FROM 27" - 80" IN HEIGHT		

FIRE RATINGS REQUIREMENTS	REQUIRED	PROVIDED	IBC SECTION
BEARING WALLS, EXTERIOR	0	0	TABLE 601
BEARING WALLS, INTERIOR	0	0	TABLE 601
NONBEARING WALLS AND PARTITIONS, EXTERIOR	0	0	TABLE 601
FLOOR CONSTRUCTION	0	0	TABLE 602
ROOF CONSTRUCTION	0	0	TABLE 601
CORRIDOR	1 HR	1 HR	TABLE 1620.1

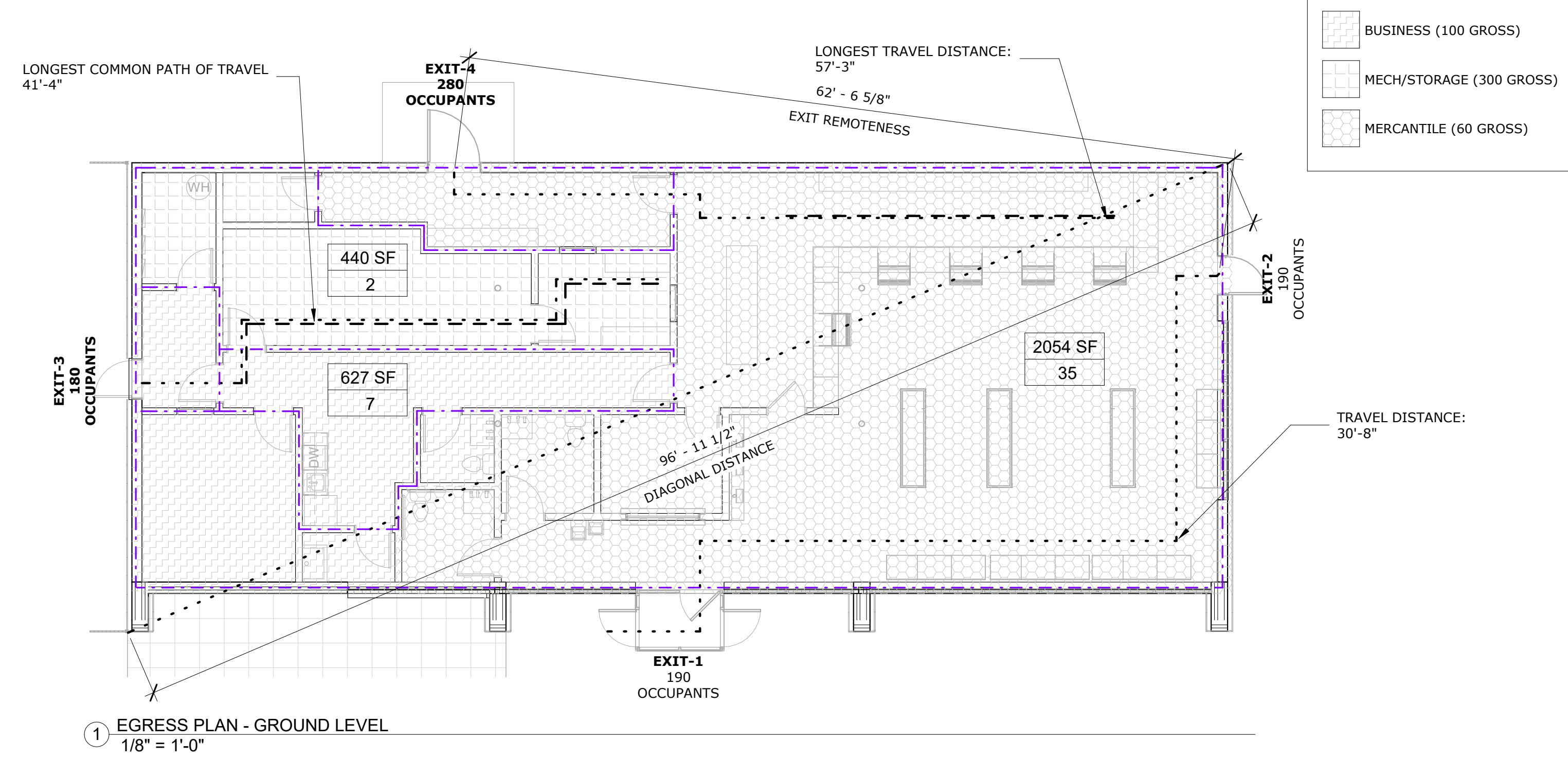
INTERIOR FINISHES	
A.	INTERIOR WALL & CEILING FINISHES SHALL COMPLY WITH IBC 803.11 MERCANTILE (PROPOSED USE)
1.	EXIT ENCLOSURES - CLASS B OR C
2.	LOBBIES & CORRIDORS - CLASS B OR C
3.	OTHER SPACES - CLASS A, B, C
B.	INTERIOR FLOOR FINISH SHALL COMPLY WITH IBC 804
1.	ALL EXIT ENCLOSURES SHALL NOT BE LESS THAN CLASS I OR II
2.	ALL FLOORS HAVE TO HAVE SLIP RESISTANT SURFACES

OCCUPANCY COUNT			
FLOOR	USE	GROSS OR NET SQ FT	S.F. / OCCUPANT
FLOOR 1	BUSINESS	627 GSF	150 GSF
	MECH/STORAGE	480 GSF	300 GSF
	MERCANTILE	2,054 GSF	60 GSF
TOTAL = 44-OCCUPANTS			

EGRESS CODE & USE GROUP SYMBOLS	
.....	1/2 HOUR FIRE RATED WALL
-----	COMMON PATH OF TRAVEL
-----	1 HOUR FIRE RATED WALL
-----	MAXIMUM TRAVEL DISTANCE
-----	2 HOUR FIRE RATED WALL
[FEC]	FIRE EXTINGUISHER TAG

PLUMBING FIXTURE COUNT	
CODE SECTION	IPC TABLE 403.1
MINIMUM REQ'D	PROVIDED
WATER CLOSETS (1 PER 500)	WATER CLOSETS (1 PER 500)
- 36 OCC = 1 WC	- 3 WC
LAVATORIES (1 PER 750)	LAVATORIES (1 PER 750)
- 36 OCC = 1 LAV	- 3 LAV
DRINKING FOUNTAIN (1 PER 1000)	DRINKING FOUNTAIN (1 PER 1000)
- 36 OCC = 1 DRINK FOUNTAIN	- 2 DRINK FOUNTAIN

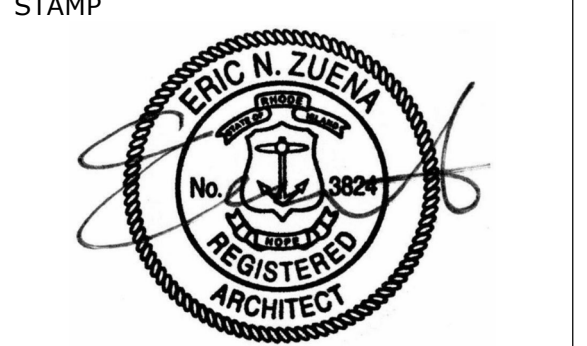
ENERGY CODE: TABLE C402.1.3, C402.4	
ROOF INSULATION	= R-38
WOOD FRAMED WALLS	= R13 + R3.8 ci or R20
UNHEATED SLABS	= R10 FOR 24" BELOW
FIXED FENESTRATION	= .38 U-FACTOR / .40 SHGC
SWING DOORS	= U-0.37



PLOT CREATED: 12/14/2023 2:47:34 PM

CLIENT
ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT
ZDS
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699
1405 RHODE ISLAND AVENUE NW
WASHINGTON, DC 20005
+1.202.660.0555



CONSULTANT

PROJECT NAME
RECREATIONAL CANNABIS DISPENSARY
1112 RESERVOIR AVE
CRANSTON, RI 02910

PROJECT NO. 23111
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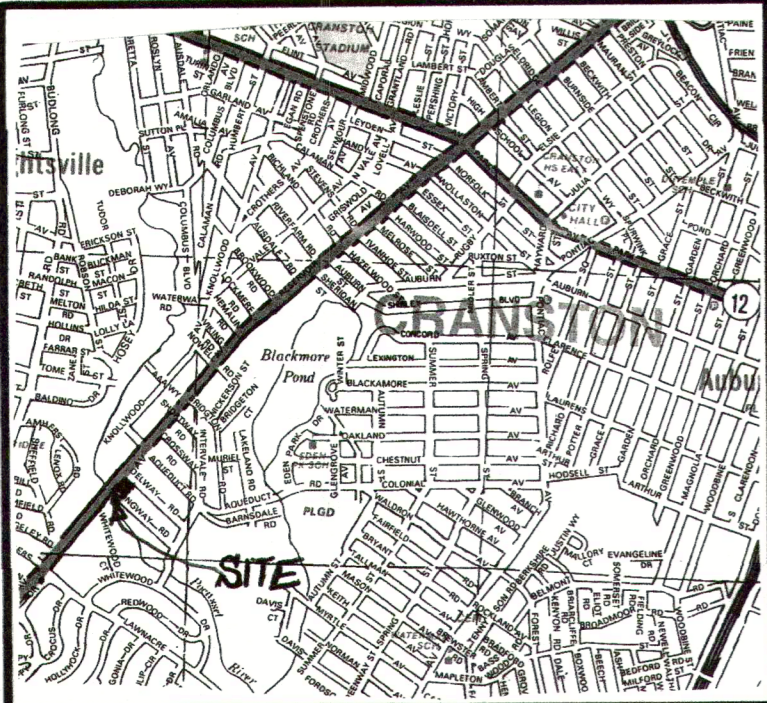
REVISIONS		
NO.	DESCRIPTION	DATE

DEVELOPMENT PLAN REVIEW

ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
CODE, ZONING & EGRESS INFORMATION

DRAWING NO.
G1.00



ZONING:

THESE PREMISES ARE LOCATED IN RESIDENTIAL DISTRICT ZONE B-2
 MIN. LOT AREA: 6,000 S.F.
 MIN. LOT WIDTH: 60 F.T.
 MIN. LOT FRONTAGE: 60 F.T.
 MIN. FRONT YARD: 25 FT.
 MIN. REAR YARD: 20 FT.
 MIN. SIDE YARD: 8 FT.
 MAX. LOT COVERAGE: 35%
 MAX. STRUCTURE HEIGHT: 35 FT.

LEGEND

- PROPERTY LINE
- - - ABUTTING PROPERTY LINE
- ▨ EXISTING DWELLING
- N/F NOW OR FORMERLY
- - - EDGE OF ASPHALT
- - - 16 EXISTING CONTOURS
- - - 17 PROPOSED CONTOURS
- G.B.(FND) GRANITE BOUND FOUND
- C.B.(FND) CONCRETE BOUND FOUND
- PK(SET) MAG NAIL SET
- SPIKE(SET) R.R. SPIKE SET
- I.R.(SET) IRON REBAR SET
- I.R.(FND) IRON REBAR FOUND
- D.H.(FND) DRILL HOLE FOUND
- D.H.(SET) DRILL HOLE SET
- SMH SEWER MANHOLE
- WG WATER GATE
- UP UTILITY POLE

REFERENCE:

- PLAT ENTITLED: "FOREST HILL PLAT NO 5 CRANSTON, RHODE ISLAND BELONGING TO THE PROVIDENCE REAL ESTATE IMPROVEMENTS CO BY FRANK E WATERMAN CO., JANUARY 1925" WHICH PLAT IS RECORDED IN THE OFFICE OF THE CITY CLERK OF SAID CITY OF CRANSTON IN PLAT BOOK 11 AT PAGE 11 AND ON PLAT CARD 266.
- DEED BOOKS & PAGES: 6626/69, 4736/301, 6059/273, 6059/273.

NOTES:

- THE LOCATION, DEPTH, AND EXISTENCE OF ANY UTILITIES OR OTHER UNDERGROUND OBJECTS SHOWN ON THESE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION. LOCATIONS ARE NOT WARRANTED TO BE EXACT. NOR IS IT WARRANTED THAT ALL EXISTING UTILITIES ARE SHOWN.
- THE CONTRACTOR IS REQUIRED TO CALL DIGSAFE BEFORE ANY EXCAVATION IS COMMENCED 1-888-DIG-SAFE.
- THE DEVELOPER IS REQUIRED TO VERIFY WITH THE CITY OF CRANSTON ON THE REGULATIONS AND REQUIREMENTS BEFORE THE START OF THE PROJECT.
- ELEVATION DATUM WAS TAKEN FROM CITY OF CRANSTON SEWER MAPS.
- STRAW-WATTLE SHALL BE INSTALLED ALONG THE LIMIT OF DISTURBANCE (L.O.D.) BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION FOR EROSION PURPOSES.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATION ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:
 TYPE OF SURVEY- LIMITED CONTENT BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION- CLASS 1
 TOPOGRAPHY SURVEY I-2
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
 PROPOSED RETAINING WALL

BY: *Nabil Y. Rashid* DATE: 10/26/23
 NABIL RASHID PLS#1948 LS-A427
 REGISTERED PROFESSIONAL LAND SURVEYOR

LOCUS MAP
N.T.S.

RESERVOIR (80' R.O.W.) AVENUE

LONGWAY (40' R.O.W.) ROAD

DELWAY (40' R.O.W.) ROAD

AQUEDUCT RD

PLAT 9/2 LOT 2713
AREA=18,000S.F.
=0.413 Acres

#1112
F.F.ELEV.=29.7

ASPHALT PARKING LOT

CONC PAD
w/ DUMPSTER

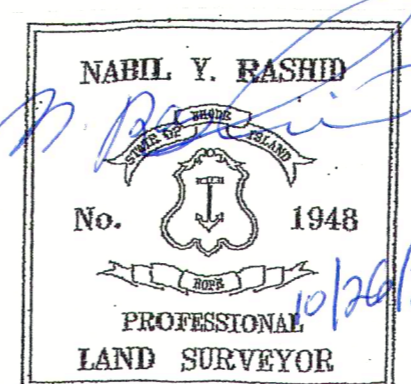
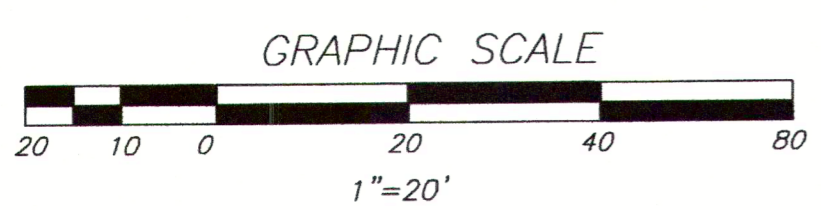
PLAT 9/2 LOT 2877
N/F
KATY VICENTE

PLAT 9/2 LOT 2710
N/F
KATY VICENTE

#70

FLOOD NOTE:

- THIS STRUCTURE IS LOCATED IN FLOOD ZONE X WHICH DETERMINED BY FEMA MAPS FOR THE CITY OF CRANSTON, COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND AS AREAS OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODING, MAP NUMBER 44007C0314H. MAP EFFECTIVE DATE: OCTOBER 2, 2015
- THE PROPOSED RETAINING WALL IS LOCATED WITHIN FLOODING ZONE AE.



OWNERS & ADDRESS:
 WIRED 2 TEN, LLC
 115A PRATT STREET
 PROVIDENCE, RI 02906

SURVEY AND PLAN	
FOR WIRED 2 TEN, LLC 1112 RESERVOIR AVENUE CRANSTON, RHODE ISLAND PLAT 9/2 LOT 2713	
NRC ASSOCIATES P.O. BOX 14459 EAST PROVIDENCE, RHODE ISLAND 02914 (401) 954-0206	
Revision	DATE
DATE	OCT 26, 2023
FILENAME	RESERVOIR
1 of 1	

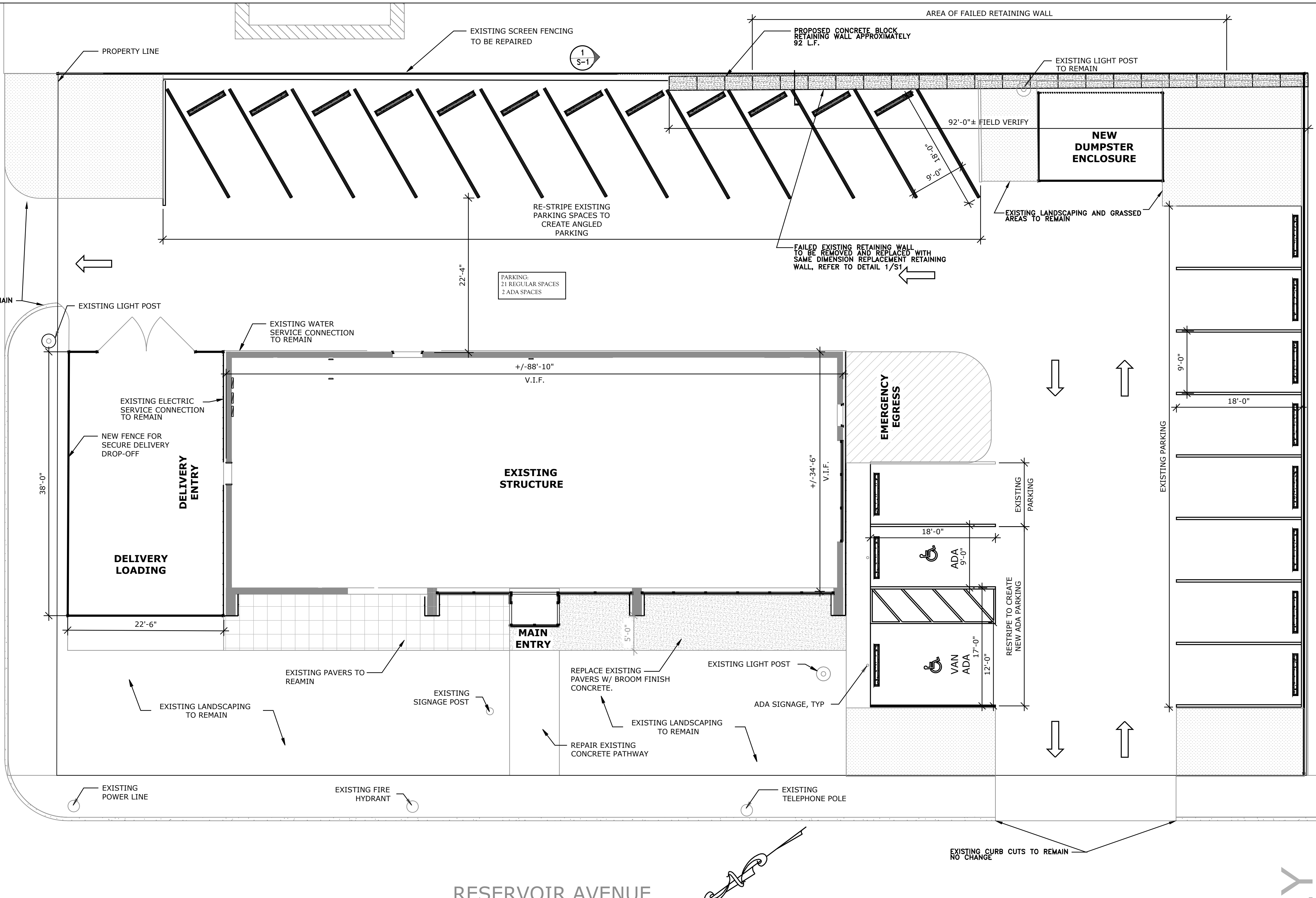


LOCUS PLAN

NTS

EXISTING CURB CUTS TO REMAIN
NO CHANGE

DELWAY ROAD
TWO-WAY



RESERVOIR AVENUE

RETAINING WALL AND PARKING LAYOUT PLAN

NTS

WORLD BLOCK RETAINING WALL NOTES

- ALL WALL CONSTRUCTION IS TO BE FIELD DOCUMENTED BY SAB ENGINEERING IN ORDER TO PROVE CONFORMANCE TO THESE CONSTRUCTION DOCUMENTS, PROPER COMPACTION OF SOILS AND THE PRESENCE OF DRAINAGE MATERIALS. COORDINATING THIS DOCUMENTATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONCRETE USED FOR WALL UNITS SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3 K.S.I. WALL UNITS SHALL COMPLY WITH WORLD BLOCK SPECIFICATIONS, ASTM C94 AND ACI 301.99, HAVE 4% - 7% ENTRAINED AIR, 3" SLUMP, AND MUST BE PLACED AT A MINIMUM OF 50'.
- WALL CONSTRUCTION SHALL FULLY COMPLY WITH WORLD BLOCK STANDARD SPECIFICATIONS.
- UNDERDRAINS SHALL BE PERFORATED, 4" DIAMETER AND SHALL MEET THE REQUIREMENTS OF AASHTO M252 AND/OR ASTM F949. ALL DRAINS ARE TO PITCH A MINIMUM OF 1/8" PER FOOT. UNDERDRAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DRAINS NOT SPECIFIED TO TIE INTO THE SITE DRAINAGE SHALL DRAIN TO DAYLIGHT.
- RETAINED SOIL SHALL BE DETERMINED TO MEET OR EXCEED THE REQUIREMENTS BELOW IN THE ABSENCE OF A GEOTECHNICAL ENGINEERING STUDY. SOILS NOT MEETING THESE REQUIREMENTS SHALL BE EXCAVATED AND REPLACED WITH ACCEPTABLE SOILS. THE UNDERLYING SOILS SHALL BE INVESTIGATED FOR THE PRESENCE OF SOFT CLAYS TO A DEPTH OF 1.5 TIMES THE HEIGHT OF THE RETAINING WALL. IF WEAK SOILS ARE PRESENT, THEY SHALL BE EXCAVATED AND REPLACED WITH ACCEPTABLE SOILS.

LEVELING PAD SHALL BE 2" CRUSHED STONE WITH NO MORE THAN 5% PASSING A #200 SIEVE.

FREE DRAINING BACKFILL SOIL SHALL BE 1 1/2" CRUSHED STONE PLACED DIRECTLY BEHIND WALL FOR THE DEPTHS SPECIFIED ON PLANS (10" MIN.) AND SHALL EXTEND VERTICALLY FROM LEVELING PAD TO 4" BELOW TOP OF WALL. EXPOSED DRAINAGE STONE SHALL BE PROTECTED FROM FINE SOIL MIGRATION THROUGHOUT CONSTRUCTION.

BACKFILL SOIL BEYOND DRAINAGE ZONE SHALL BE CLEAN BANK RUN GRAVEL WITH NO MORE THAN 10% PASSING THE #200 SIEVE AND SHALL MEET OR EXCEED THE REQUIREMENTS BELOW. ORGANIC AND FROST SUSCEPTIBLE SOILS ARE NOT PERMITTED WITHIN A MIN. DISTANCE BEHIND THE WALL EQUAL TO THE HEIGHT OF THE WALL.
- ALL DRAINAGE AND FOUNDATION SOIL SHALL BE COMPACTED TO 95% OF ITS MAX. DRY DENSITY, AS DETERMINED BY ASTM D1557, USING HAND-OPERATED PLATE COMPACTION EQUIPMENT. BACKFILL SOIL BEYOND CONSOLIDATION ZONE SHALL BE COMPACTED TO 95% OF ASTM D1557. CONTRACTOR SHALL ENSURE THAT FOUNDATION SOIL IS CAPABLE OF SUPPORTING A MIN. OF 3 K.S.F..
- THE FOLLOWING MINIMUM SOIL PROPERTIES WERE USED IN THE DESIGN:

SOIL WEIGHT (pcf)	FRICITION ANGLE (deg)
BACKFILL/INFILL SOIL	32
RETAINED SOIL	32
FOUNDATION SOIL	32
LEVELING PAD	40
FREE DRAINING BACKFILL	40
- ENSURE THAT THE FIRST COURSE OF WALL UNITS IS IN FULL CONTACT WITH THE LEVELING PAD. INSTALL NEXT COURSE OF UNITS SUCH THAT THE VERTICAL GAPS ARE STAGGERED BETWEEN ADJACENT COURSES.
- CONTRACTOR AND ENGINEER-OF-RECORD SHALL APPROVE/PROVIDE ALL ELEVATIONS AND INVERTS IN THESE PLANS PRIOR TO ORDERING MATERIAL.

GENERAL NOTES

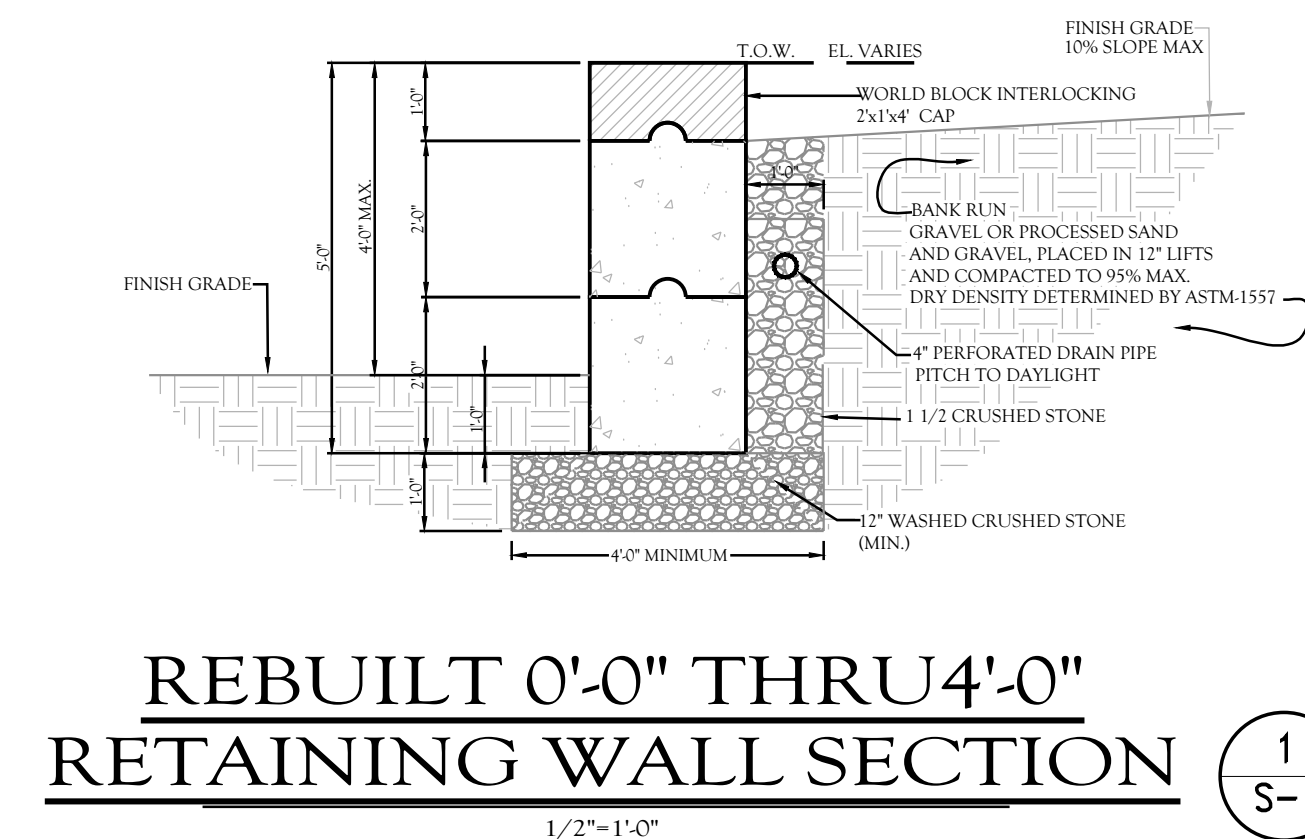
- ALL MEASUREMENTS ARE TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
- GRADING BEHIND RETAINING WALLS IS NOT TO EXCEED 14" (1' VERTICAL ON 10' HORIZONTAL).
- ALL EXCAVATION IS TO BE IN ACCORDANCE WITH THE RHODE ISLAND STATE BUILDING CODE AND OSHA REGULATIONS.
- RETAINING WALLS ARE TO BE NO HIGHER THAN SPECIFIED IN THE PROVIDED CROSS SECTION.
- ALL OF THE BASE PREPARATION SHALL BE OVERSEEN BY A REPRESENTATIVE FROM SAB ENGINEERING.

PAVING NOTES

- EXISTING PAVING TO REMAIN, REPAIR AS REQUIRED, SEAL COAT ENTIRE PARKING LOT AFTER PATCHING REPAIRS.
- RE-STRIPE EXISTING PARKING SPACES (AS NOTED).
- NO CHANGES TO EXISTING GRADING, AND DRAINAGE.
- NO CHANGES TO EXISTING STORM-WATER CONTROL.

GRADING NOTES

- NO CHANGES TO EXISTING GRADES TO OCCUR.



REBUILT 0'-0" THRU 4'-0" RETAINING WALL SECTION

1
S-1

1/2" - 1'-0"

FOR PERMIT ONLY

No.	Revisions	Date

GENERAL NOTES

ENGINEER

SAB
Engineering

150 Amaral Street
Riverside, Rhode Island 02915
508-496-9564
sab@sabengineering.net

SEAL

STEVEN A. POGLE
No. 5817
REGISTERED PROFESSIONAL ENGINEER
CIVIL

DATE:	12/22/23
PROJECT NO.:	SAB-1800-23
DRAWN BY:	KMR
SCALE:	NTS
CHECKED BY:	SAB
PROJECT:	

PROPOSED GRAVITY BLOCK RETAINING WALL AND PARKING PLAN

1112 RESERVOIR AVENUE
CRANSTON, RI
PLAT 9/2 LOT 2713

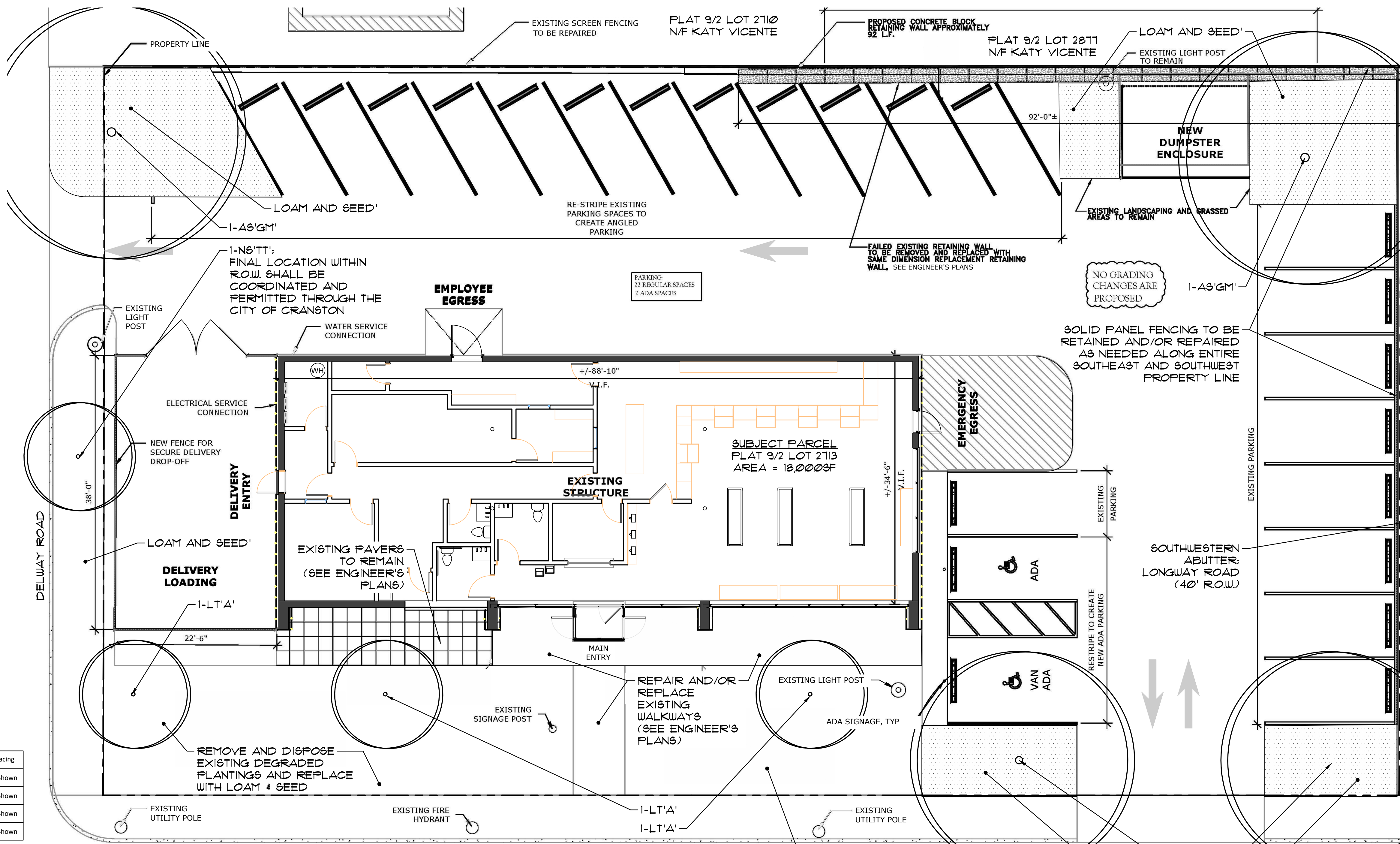
LAYOUT PLAN

CLIENT

SHEET NO.

S-1

2,358.424 RecCannabidisp_CranstonRI.dwg



PLANT SCHEDULE:

KEY	Scientific Name Common Name	QTY	Size Comment	Spacing
AS'GM'	Acer saccharum 'Green Mountain' Green Mountain Sugar Maple	2	2.5\"-3\" Cal. B&B	As Shown
GB'AG'	Ginkgo biloba 'Autumn Gold' Autumn Gold Maidenhair Tree	2	2.5\"-3\" Cal. B&B	As Shown
LT'A'	Liriodendron tulipifera 'Arnold' Arnold Columnar Tulip Tree	3	2.5\"-3\" Cal. B&B	As Shown
NS'TT'	Nyssa sylvatica 'Tupelo Tower' Tupelo Tower Columnar Tupelo	1	2.5\"-3\" Cal. B&B	As Shown

SITE GRADING AND ENVIRONMENTAL NOTES:

- EXISTING PAVEMENT TO REMAIN AND/OR DR. BE REDUCED AS PART OF THE PROPOSED SITE RENOVATIONS. PAVEMENT TO BE REPAIRED AND RESTRIPE AS REQUIRED (SEE ENGINEER'S PLANS).
- NO CHANGES TO EXISTING GRADING, DRAINAGE, OR STORMWATER CONTROL ARE PROPOSED.
- PROJECT TO UNDERGO ENVIRONMENTAL REVIEW WITH RIDEM AS NEEDED WITH REGARD TO ANY FLOOD PLANES, WETLAND BUFFERS, OR OTHER ENVIRONMENTAL FEATURES THAT FALL WITHIN RIDEM JURISDICTION THAT MAY BE INSIDE THE LIMITS OF THE SUBJECT PROJECT AREA.

GENERAL NOTES:

- SEE SURVEYOR'S PLANS FOR ALL EXISTING CONDITIONS, PROPERTY LINE INFORMATION, SURVEY DATUM, FLOOD PLANE NOTES, ETC.
- SEE ENGINEER'S PLANS FOR ALL SITE LAYOUT, GRADING, AND DRAINAGE DESIGNS.
- SEE ARCHITECT'S PLANS FOR ALL BUILDING DESIGN COMPONENTS AND UTILITY DESIGNS.
- UTILITIES: FINAL UTILITY CONNECTIONS AND LOCATION OF ANY SERVICE CONNECTIONS TO BE COORDINATED BY ARCHITECT AND ENGINEER WITH CITY AND UTILITY COMPANY.
- SITE LIGHTING DESIGN: EXISTING LIGHT FIXTURES SHALL REMAIN. ANY RENOVATIONS TO SITE AND/OR EXTERIOR LIGHTING SHALL HAVE CUT-OFF TYPE FIXTURES THAT ARE AIMED TO DIRECT ILLUMINATION AWAY FROM ALL ADJUTING PROPERTIES.
- SITE SIGNAGE: BY OTHERS. EXISTING Pylon SIGN LOCATION TO REMAIN. FINAL SIGN DESIGN AND LOCATION TO BE DETERMINED AND PERMITTED BY OTHERS.
- ALL WORK AND MATERIALS SHALL BE IN CONFORMANCE WITH THE RHODE ISLAND STANDARD SPECIFICATIONS, AS AMENDED.
- THIS PLAN IS INTENDED TO BE AN ACCURATE GUIDELINE FOR LAYOUT AND SPECIFICATION OF LANDSCAPE PLANTINGS ONLY. CONTRACTOR SHALL VERIFY ACTUAL AS-BUILT ON-SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION PROCEDURES. FINAL INSTALLMENT OF ALL LANDSCAPE IMPROVEMENTS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID CONFLICTS WITH OTHER PROPOSED SITE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO UTILITY AND DRAINAGE DESIGN AND FINAL DESIGN LAYOUT OF VEHICULAR SURFACES, SIDEWALKS, AND PROPOSED STRUCTURES.
- UTILITIES ARE NOTED FROM BEST AVAILABLE INFORMATION AND SITE OBSERVATIONS. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY CONTACTING DIG SAFE (888-DIG-SAFE (344-7233) or Dial 811), IN ACCORDANCE WITH THE LAWS OF THE STATE OF RI. CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION. DAMAGE TO ANY ABOVE OR BELOW-GROUND UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR REUSE. DO NOT REMOVE LOAM FROM SITE UNLESS DIRECTED BY OWNER'S REPRESENTATIVE. IF DIRECTED BY OWNER'S REPRESENTATIVE, IT SHALL BE REMOVED OFF-SITE TO AN APPROPRIATE FACILITY FOR FUTURE USE AS DIRECTED BY OWNER.
- ALL EXCESS SOILS, BOLLIDERS, STUMPS AND OTHER MATERIALS SHALL BE DISCARDED OFF-SITE IN AN ACCEPTABLE MANNER TO ALL STATE, AND MUNICIPAL REGULATIONS. ALL MATERIALS THAT ARE REMOVED AND DISPOSED SHALL BE DONE SO IN A LEGAL MANNER AND FOLLOW THE SOIL EROSION CONTROL PLAN AT OWNER'S DIRECTION.
- CONTRACTOR TO PERFORM DAILY HOUSEKEEPING ON-SITE. CONTRACTOR SHALL SWEEP DAILY ANY TRACKING ONTO EXISTING PARKING AREA TO PREVENT FROM ENTERING THE DRAINAGE SYSTEM.
- ALL ITEMS NOT INDICATED FOR REMOVAL AND DISPOSAL SHALL BE PROTECTED BY CONTRACTOR DURING CONSTRUCTION. SHOULD DAMAGE OCCUR AS A RESULT OF CONSTRUCTION PROCEDURES, CONTRACTOR SHALL REPAIR SUCH DAMAGE AT HIS OR HER OWN EXPENSE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CURRENT PLANTING PROCEDURES ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN, STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY.
- ALL PROPOSED PLANT MATERIAL SHALL BE AS SPECIFIED, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. IN ABSOLUTELY NO CIRCUMSTANCE SHALL THERE BE ANY USE OF PLANTS LISTED ON THE RI INVASIVE SPECIES LIST FOR PLANTS AS PREPARED BY THE RHODE ISLAND NATURAL HISTORY SURVEY AND THE RHODE ISLAND INVASIVE SPECIES COUNCIL.
- ALL PLANTINGS SHALL BE SIZED IN ACCORDANCE WITH THE SIZES INDICATED ON THE PLANT SCHEDULE, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- IT IS UNDERSTOOD THAT SPECIFIED PLANT VARIETIES, QUANTITIES, AND SIZES MAY BE SUBJECT TO AVAILABILITY AT TIME OF ORDERING AND INSTALLATION. ALL PLANT SUBSTITUTIONS AND/OR CHANGES IN PLANT LOCATION, QUANTITY, OR SIZE MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
- MAINTENANCE AND WARRANTY:**
- ALL PLANTINGS SHALL BE MAINTAINED BY THE OWNER OR CONTRACTOR FROM THE TIME OF PLANTING UNTIL THE PLANTINGS ARE ESTABLISHED. MAINTENANCE DURING THIS PERIOD SHALL INCLUDE WATERING OF PLANTINGS AS NECESSARY TO ENSURE PROPER ESTABLISHMENT OF PLANTINGS. FOLLOWING ESTABLISHMENT OF PLANTINGS, OWNER SHALL MAINTAIN ALL LANDSCAPING THROUGHOUT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON ALL NEW PLANTINGS. SHOULD NEW PLANT MATERIAL DIE (OR DECLINE TO THE POINT WHERE PLANT IS EXPECTED TO DIE) WITHIN THIS WARRANTY PERIOD (OTHER THAN DUE TO NATURAL FACTORS, NATURAL DISASTER, OR NEGLECT), CONTRACTOR SHALL REMOVE THE PLANT AND REPLACE SAID PLANT MATERIAL WITH NEW PLANTINGS IN ACCORDANCE WITH THE SIZE AND VARIETY SPECIFIED. ALL REPLACEMENT PLANT MATERIAL SHALL CARRY A NEW ONE (1) YEAR WARRANTY STARTING FROM THE DATE OF REPLACEMENT. CONTRACTOR SHALL REMOVE ALL STAKES, GUY WIRES, AND TAPE FROM TREES AT THE END OF THE SPECIFIED WARRANTY PERIOD.
- FINAL LOCATIONS OF ALL NEW PLANTINGS SHALL BE ADJUSTED AS NECESSARY BASED ON FINAL AS-BUILT LOCATIONS OF ALL NEW AND EXISTING UTILITIES AND OTHER SITE IMPROVEMENTS.
- EXISTING VEGETATION PROTECTION LINE: PROTECTIVE BARRIERS ARE TO BE INSTALLED ALONG THE LIMIT OF DISTURBANCE ADJUTING EXISTING VEGETATION TO REMAIN (SEE ENGINEER'S PLANS). BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE A MINIMUM OF THREE-FOUR FEET (3-4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR Silt FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED. PRUNING OF ANY DAMAGED ROOTS SHALL BE DONE IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, UTILIZING ONLY CLEAN SHARP TOOLS - NO AXES TO BE USED FOR PRUNING. CARE SHALL BE TAKEN NOT TO DISPOSE OF PAINT OR ANY OTHER SOLVENTS THAT MAY CHANGE THE SOIL STRUCTURE IN OR AROUND THE ROOTZONE OF VEGETATION SPECIFIED TO REMAIN.
- LOAM AND COMPOST:** ALL LOAM USED AS PLANTABLE SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH, CONSTRUCTION DEBRIS, OR OTHER OBJECTIONABLE MATERIAL. NEW PLANTING BEDS SHALL BE AMENDED WITH WELL-AGED COMPOST.
- COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. IT SHALL BE DERIVED FROM AGRICULTURAL, FOOD, AND/OR YARD TRIMMINGS. THE PRODUCT SHALL CONTAIN NO SUBSTANCES TOXIC TO PLANTS AND SHALL BE REASONABLY FREE (LESS THAN 1 PERCENT BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER.
- WATERING:** THOROUGHLY WATER ALL PLANTS WHEN 2/3 OF BACKFILL HAS BEEN PLACED TO ENSURE ALL AIR POCKETS ARE REMOVED. FIRMLY TAMP SOIL AROUND PLANTS. ENSURE PROPER WATERING OF PLANT MATERIAL UNTIL ESTABLISHMENT (ONCE PER DAY FOR 14 DAYS FOLLOWING INSTALLATION, OR AS NEEDED DEPENDING ON FREQUENCY AND QUANTITY OF NATURAL RAIN FALL). MONITOR SOIL MOISTURE WITHIN ROOTZONE OF PLANTINGS PRIOR TO AND FOLLOWING EACH WATERING PROCEDURE. DO NOT OVERWATER OR SATURATE ROOTZONE OF PLANTINGS FOR PROLONGED PERIOD OF TIME.
- PRUNING: ALL PLANTING MATERIAL SHALL BE PRUNED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND IN SUCH A MANNER AS TO MAINTAIN THE NATURAL FORM OF THE PLANT. PRUNING SHALL BE COMPLETED UTILIZING ONLY CLEAN SHARP TOOLS. USE OF AXES FOR PRUNING IS UNACCEPTABLE.
- PRUNE ALL PLANT MATERIAL TO REMOVE ANY AND ALL DEADWOOD.
- MULCH: ALL PLANTINGS SHALL BE MULCHED AS INDICATED ON DETAIL DRAWINGS. PLANTINGS INSTALLED IN CLUSTERS, OR WITHIN PLANTING BEDS SHALL BE MULCHED AS SUCH, INSTALLING MULCH THROUGHOUT THE ENTIRE PLANTING BED. MULCH TO BE 2\"-3\" OR AS OTHERWISE NOTED, IN DEPTH AND REDUCED TO LESS THAN 1\" AT ROOT FLANK OF EACH PLANT.
- BARK MULCH, WHERE INDICATED, SHALL BE WELL-AGED, SHREDDED BARK MULCH, NATURAL DARK BROWN IN COLOR AND NON-DYED, OR AS APPROVED BY OWNER'S REPRESENTATIVE.
- LOAM AND SEED:**
- LOAM AND SEED ALL DISTURBED AREAS. ALL NEW LAWN AREAS SUBJECT TO EROSION SHALL BE STABILIZED UTILIZING JUTE MESH OR APPROVED EQUAL.
- LOAM UTILIZED FOR LAWN AREAS SHALL BE SANDY LOAM, 6\" MIN. IN DEPTH, AND CONFORMING TO THE REQUIREMENTS OF THE USGA FOR LAWN PLANTINGS.
- SEED MIX:**
- SEED MIX UTILIZED FOR LAWN AREAS SHALL BE SIMILAR TO 'Endophyte Enhanced Mix' AS AVAILABLE THROUGH ALLEN'S SEED, EXETER, RI, OR EQUAL, DROUGHT TOLERANT, DEEP-ROOTING GRASS SEED, CONTAINING A MINIMUM OF 30% BY WEIGHT OF TURF-TYPE TALL FESCUE.
- IF UTILIZING SOD, SOD SHALL ALSO BE COMPRISED OF DROUGHT TOLERANT, DEEP-ROOTING TURF GRASS, CONTAINING TURF-TYPE TALL FESCUE, SIMILAR TO 'BLACK-BEAUTY' VARIETY SOD, AS AVAILABLE THROUGH SOCOO, INC., EXETER, RI, OR EQUAL.
- IF INSTALLING SEED UTILIZING HYDROSEEDER DEVICE, PROVIDE HYDRO FIBER-MULCH AND FERTILIZER MIX.
- IF BROADCAST SEEDING, TOPDRESS WITH 2\" STRAW MULCH OR HYDRO FIBER-MULCH AND FERTILIZER MIX (NO SEED), FOLLOWING SPREADING OF SEED.

REVISION HISTORY:

DATE	REVISION

- REFERENCES:**
- Plan Set Entitled: 'RECREATIONAL CANNABIS DISPENSARY'; Owner: Ancora Advisors LLC; Prepared by: ZDS Inc.; Dated: November 15, 2023, As Amended.
 - Survey Plan Entitled: 'SURVEY AND PLAN FOR WIRED 2 TEN, LLC'; Owner: Wired 2 Ten, LLC; Prepared by: NRC Associates; Dated October 26, 2023.

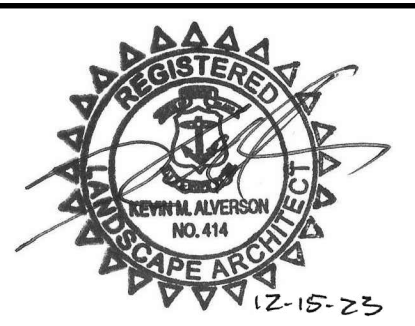
Recreational Cannabis Dispensary

Plat 9/2, Lot 2713
1112 Reservoir Avenue
Cranston, RI 02910

Owner:
Ancora Advisors LLC
187 Shadow Brook Drive
Warwick, RI 02886



Kevin M. Alverson
LANDSCAPE ARCHITECTURE
360 Annaquatucket Road 401-338-0044
Wickford, RI 02852 KevinMAlversonLA.com

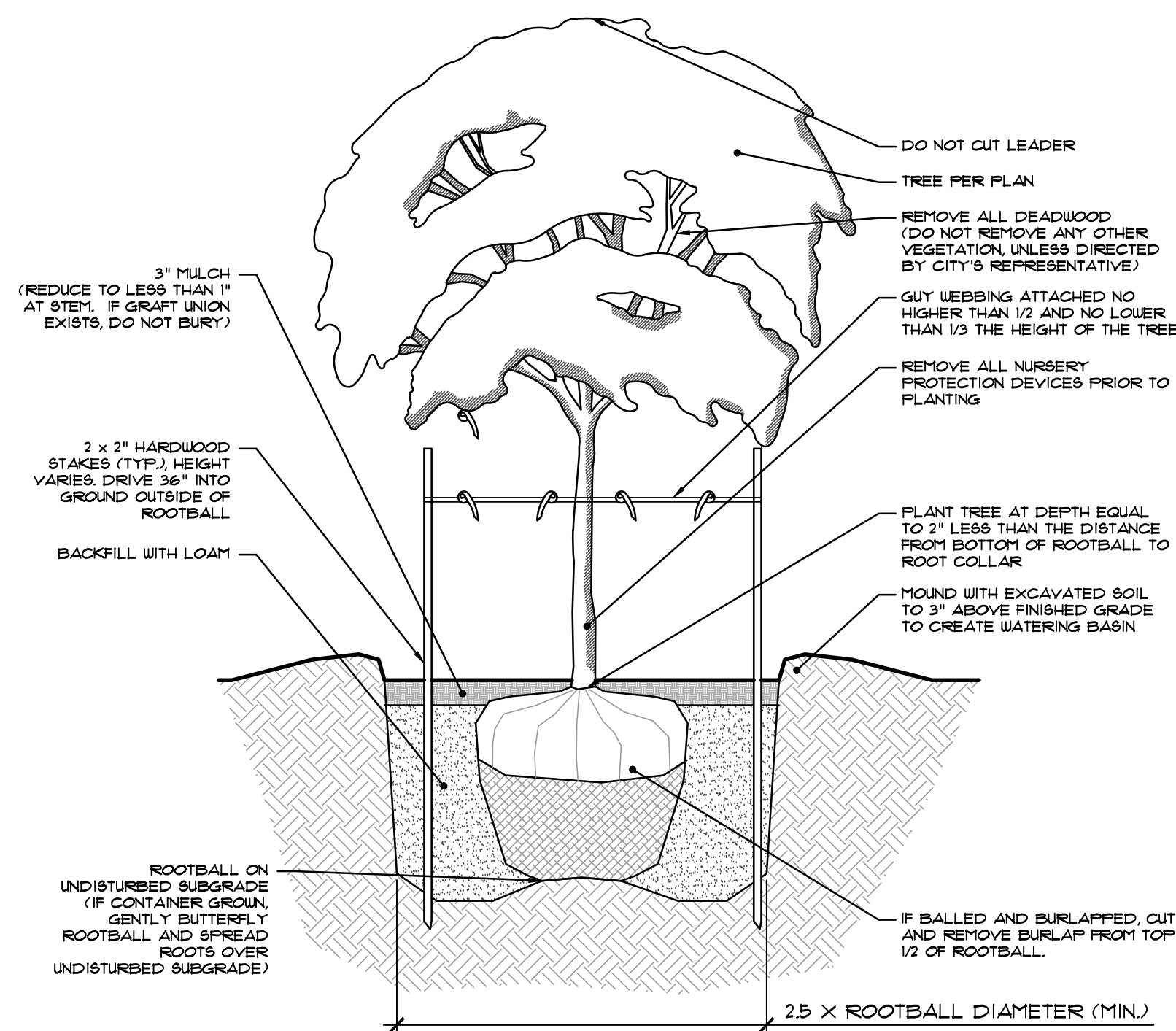


LANDSCAPE PLANTING ONLY

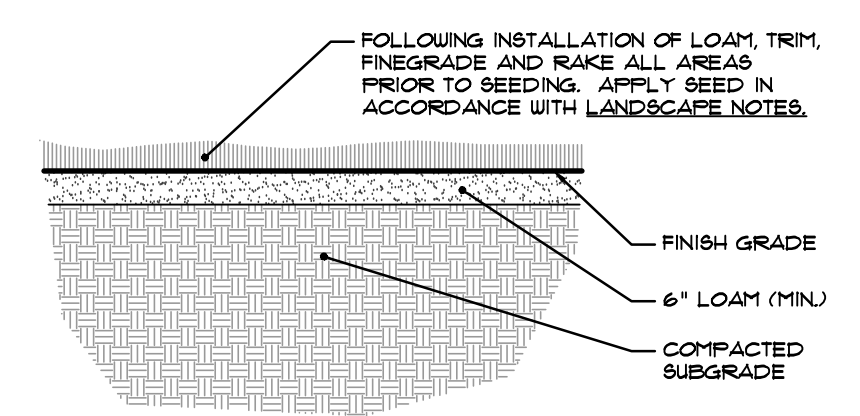
Landscape Plan

Project #: 2.358.424	Sheet 1 of 2
Scale: 1/8" = 1'	L-1
Drawn By: KMA	
Checked By: KMA	
Date: 18th 15, 2023	ISSUED FOR PERMITTING

© Kevin M. Alverson, L.A.



1 TREE PLANTING DETAIL NOT TO SCALE



2 LOAM AND SEED NOT TO SCALE

LANDSCAPE REQUIREMENTS:

**CITY OF CRANSTON, RI, Chapter 17: Zoning
Chapter 17.84.140 - Development and Landscaping Design Standards**

REQUIRED:
Subsection C.1.b:
'A minimum of fifteen (15) percent of a development's parcel shall be landscaped'
18,000SF (Subject Parcel's Size) x .15 = 2,700 SF of Landscaped Area Required

REQUIRED:
Subsection C.4.b:
'One street tree shall be planted for every thirty-five (35) feet of frontage...'
Reservoir Avenue Frontage:
Approximately 155 LF (excluding driveway entrance) divided by 35 = 4.4 or 5 Trees Required
Delway Road Frontage:
Approximately 86 LF (excluding driveway entrance) divided by 35 = 2.5 or 3 Trees Required

REQUIRED:
Subsection C.6.b.i.:
'A minimum ten (10) feet wide landscaped strip shall be provided along property lines parallel to a street where parking or circulation areas abuts said street'

REQUIRED:
Subsection C.6.b.ii.:
'A minimum five (5) feet wide landscaped strip shall be provided along side and rear property lines where parking or circulation areas are adjacent to abutting properties.'

REQUIRED:
Subsection C.6.e.:
'Buildings, structures, parking...shall not be allowed within a buffer area'

REQUIRED:
Subsection C.7.a.:
'In addition to any required buffer strip, a minimum of ten (10) square feet of landscaped area shall be provided within a parking area for each parking space in said area'
23 Parking spaces x 10 SF = 230 SF of Landscaped Area required

REQUIRED:
Subsection C.7.b:
'A minimum of twenty (20) percent of a parking area shall be shaded by deciduous trees that shall have a crown (canopy) of thirty (30) feet at maturity...'
Approximately 9,625 SF of Proposed Parking Area x .2 = 1,925 SF of Shading Required
1 Tree = $\pi(15^2)$ = 707 SF
9,625 SF x .20 = 1,925 SF
1,920 SF divided by 707 = 2.7 or 3 Trees Required

REQUIRED:
Subsection C.7.c.:
'Each row of parking spaces shall be terminated by a landscaped island not less than six feet wide and twelve (12) feet long.'

PROPOSED:
Approximately 3,200 SF of the development's parcel shall be landscaped (18%)

PROPOSED:
Reservoir Avenue Frontage:
Five (5) New Trees Proposed
Delway Road Frontage
Three (3) New Trees Proposed

PROPOSED:
A ten (10) foot wide minimum landscaped strip (excluding driveway entrances) is provided at both Reservoir Avenue and Delway Road.

PROPOSED:
Existing site conditions do not allow for a 5' perimeter landscape strip along the southeast and southwest edges of the parking area. Reducing the existing pavement any further would eliminate the required parking space and aisle widths to maintain safe parking areas. New and/or Repaired Solid Panel Fencing will be erected or maintained along the entire southwest and southeast property lines to buffer parking areas.

PROPOSED:
Existing site conditions include parking and existing pavement within 5' of the perimeter of the parcel. This condition will be maintained as part of this project. New and/or Repaired Solid Panel Fencing will be erected or maintained along the entire southwest and southeast property lines to buffer parking areas.

PROPOSED:
Approximately 1,200 SF of Landscaped Area within proposed parking areas

PROPOSED:
4 Deciduous Trees Proposed Within and around the immediate perimeter of proposed parking areas

PROPOSED:
All rows of parking, other than where required for emergency egress, are terminated by a landscaped island not less than six feet wide and twelve (12) feet long.

REVISION HISTORY:

DATE	REVISION

- REFERENCES:**
1. Plan Set Entitled: 'RECREATIONAL CANNABIS DISPENSARY'; Owner: Ancora Advisors LLC; Prepared by: ZDS Inc.; Dated: November 15, 2023, As Amended.
 2. Survey Plan Entitled: 'SURVEY AND PLAN FOR WIRED 2 TEN, LLC'; Owner: Wired 2 Ten, LLC; Prepared by: NRC Associates; Dated: October 26, 2023.

Recreational Cannabis Dispensary

Plat 9/2, Lot 2713
1112 Reservoir Avenue
Cranston, RI 02910

Owner:
Ancora Advisors LLC
187 Shadow Brook Drive
Warwick, RI 2886

Kevin M. Alverson
LANDSCAPE ARCHITECTURE
360 Annaquatucket Road 401-338-0044
Wickford, RI 02852 KevinMAlversonLA.com

LANDSCAPE PLANTING ONLY

Landscape Details and Calculations

Project #: 2.358.424	Sheet 2 of 2
Scale: Not to Scale	L-2 ISSUED FOR PERMITTING
Drawn By: KMA	
Checked By: KMA	
Date: December 15, 2023	

GENERAL NOTES: DEMOLITION

KEYNOTES: EXTERIOR


1. ALL DIRECTION TO REMOVE AND LEGALLY DISPOSE OF ANY ITEM AND ALL OF ITS ASSOCIATED PARTS IN ITS ENTIRETY, IS NOTED BY THE USE OF ANY OF THE FOLLOWING LANGUAGE: "REMOVE", "REMOVE AND DISPOSE", "R/D", "DEMOLISH", "DEMO".
2. DEMOLITION SCOPE IS DESCRIBED THROUGHOUT THE DOCUMENT SET. SELECTIVE DEMOLITION FOR PIPE, DUCT, AND OTHER MEP OR STRUCTURAL PENETRATIONS ARE TO BE PROVIDED AND OVER-DEMOLISH AS REQUIRED TO PROPERLY INSTALL NEW WORK.
3. DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES AND MAY NOT SHOW ALL DEMOLITION WORK REQUIRED TO COMPLETE THE CONTRACT WORK.
4. REMOVE ALL UNNECESSARY/ ABANDONED IN PLACE/ OR EXTRANEIOUS M,E,P,FP SYSTEMS WORK. GC TO VERIFY.
5. THE GENERAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REMOVING ALL EXISTING MATERIALS WHICH WOULD OTHERWISE INTERFERE WITH THE PROPER INSTALLATION OR FUNCTION OF THE NEW WORK.
6. PROTECT EXISTING TO REMAIN AREAS DURING CONSTRUCTION AND DEMOLITION ACTIVITIES. PATCH & REPAIR ANY DAMAGE CAUSED DURING CONSTRUCTION OR DEMOLITION ACTIVITIES.
7. IN AREAS INDICATED FOR DEMOLITION, REMOVE ALL FINISH FLOORING AND ALL ASSOCIATED MASTICS AND FASTENERS. REMOVE ALL FINISHES DOWN TO SUBFLOOR LAYER. NOTE EXISTING CONDUIT, PIPES AND ELECTRICAL SCHEDULED TO BE DEMOLISHED ARE TO BE REMOVED TO BELOW SLAB FOR PROPER INSTALLATION OF NEW FLOORING. REMOVE ALL BASE AND BASE CAPS WHETHER INTEGRAL TO FLOOR MATERIAL OR NOT. FLASH PATCH HOLES RESULTING FROM DEMOLITIONS, ALL PREPARATORY WORKS SHALL BE TO THE SATISFACTION OF THE MANUFACTURERS.
8. WALLS: PREPARE ALL EXISTING WALL SURFACES, NO EXCEPTION, WITHIN PROJECT WORK AREA; BY SCRAPING, CLEANING, AND FREE ALL WALLS OF MASTIC, LOOSE PAINTS, MISC. FASTENERS, HOOKS, TACKS, STAPLES, HONEYCOMBING, ETC. NOTE EXISTING CONDUIT, PIPES AND ELECTRICAL SCHEDULED TO BE DEMOLISHED ARE TO BE REMOVED AND CAPPED TO WITHIN WALL CAVITY OR ABOVE FINISHED CEILING. FLASH PATCH HOLES RESULTING FROM DEMOLITIONS, ALL PREPARATORY WORKS SHALL BE TO THE SATISFACTION OF THE MANUFACTURERS STANDARDS FOR THE NEW PRODUCT.
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15. PRIOR TO COMMENCEMENT OF ANY WORK ALL LEAD & ASBESTOS TESTING SHALL BE PERFORMED BY OWNER.
16. CAP ALL EXISTING PLUMBING. DISCONNECT FROM MAIN FEEDS.
17. CAP EXISTING GAS LINE
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- 1 SCRAPE, CLEAN, & PREP EXG WOOD FASCIA BOARDS IN PREPARATION FOR NEW PAINT/FINISH.
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- 6 CLEAN & PREP EXG WINDOWS IN PREPARATION FOR WINDOW FILM APPLICATION & NEW SEALANT.
- 7 REMOVE DOOR & COMPONENTS IN THEIR ENTIRETY. INFILL WALL W/ CMU IN-KIND.
- 8 DEMOLISH ALL ROOF-TOP MECHANICAL, KITCHEN, UN-REUSABLE EQUIPMENT FROM ROOF. PATCH & REPAIR ROOF IN-KIND TO MEET MANUFACTURERS WARANTY.
- 9 CLEAN & PREP CMU FOR NEW PAINT. REPOINT IF REQUIRED.
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- - - - - DEMOLISH
- █ EXISTING
- # REFER TO KEYNOTE
- # TYP REFER TO KEYNOTE, TYPICAL NOTE

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CLIENT
 ANCORA ADVISORS LLC
 187 SHADOW BROOK DRIVE
 WARWICK, RI 02886

ARCHITECT

ZDS inc.
 2 CHARLES STREET, SUITE A1
 PROVIDENCE, RI 02904
 +1.401.680.6699
 1405 RHODE ISLAND AVENUE NW
 WASHINGTON, DC 20005
 +1.202.660.0555



CONSULTANT

PROJECT NAME
RECREATIONAL CANNABIS DISPENSARY
 1112 RESERVOIR AVE
 CRANSTON, RI 02910

PROJECT NO. 23111
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REVISIONS

NO.	DESCRIPTION	DATE

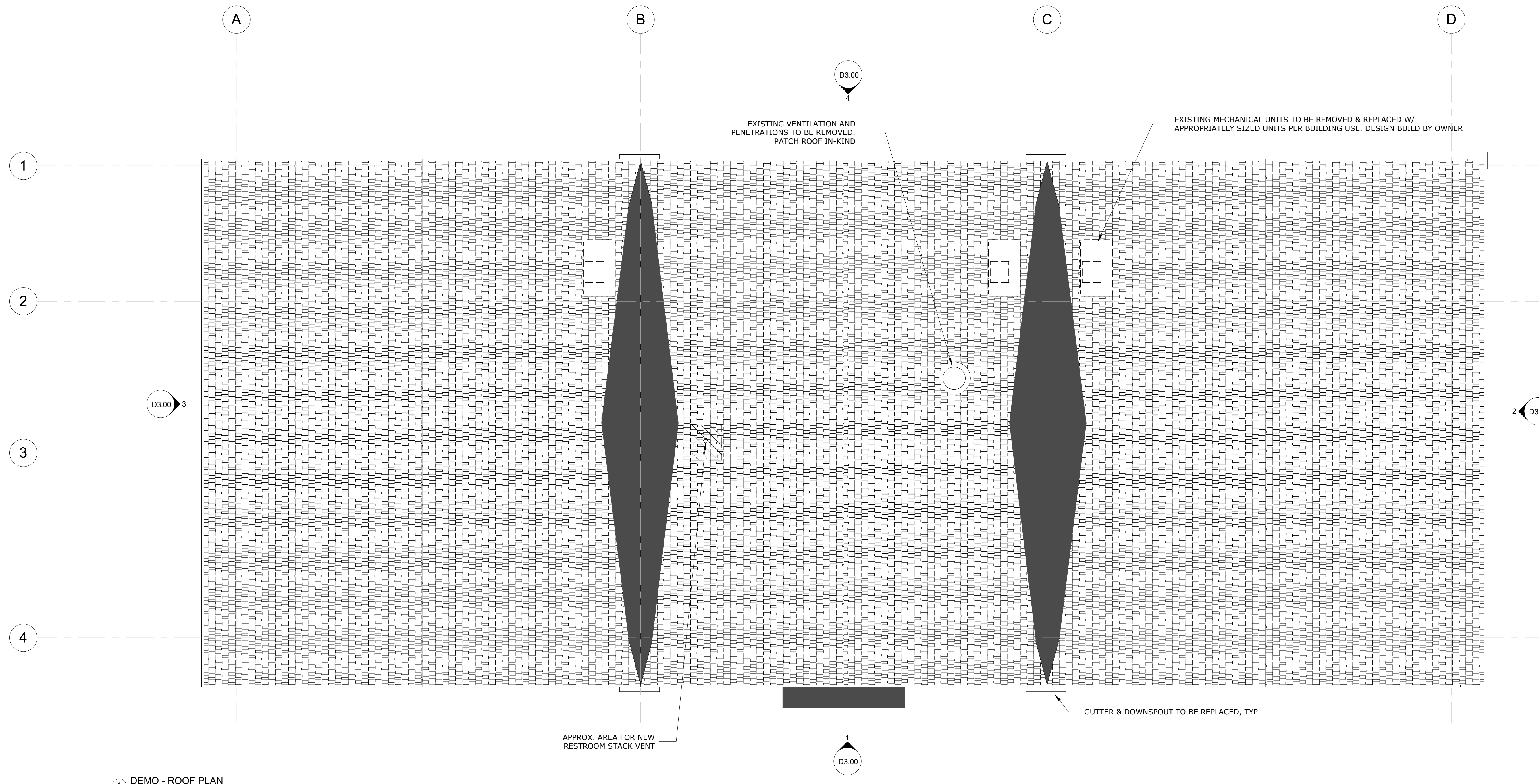
DEVELOPMENT PLAN REVIEW

ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
DEMO - ROOF PLAN

DRAWING NO.

D1.01



1 DEMO - ROOF PLAN
 1/4" = 1'-0"

GENERAL NOTES: DEMOLITION

1. ALL DIRECTION TO REMOVE AND LEGALLY DISPOSE OF ANY ITEM AND ALL OF ITS ASSOCIATED PARTS IN ITS ENTIRETY, IS NOTED BY THE USE OF ANY OF THE FOLLOWING LANGUAGE: "REMOVE", "REMOVE AND DISPOSE", "R/D", "DEMOLISH", "DEMO".
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4. REMOVE ALL UNNECESSARY/ ABANDONED IN PLACE/ OR EXTRANEOUS M,E,P,P SYSTEMS WORK. GC TO VERIFY.
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KEYNOTES: EXTERIOR

- 1 SCRAPE, CLEAN, & PREP EXG WOOD FASCIA BOARDS IN PREPARATION FOR NEW PAINT/FINISH.
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EXTERIOR PHOTO-1:
WEST ELEVATION - LEFT



EXTERIOR PHOTO-2:
WEST ELEVATION - CENTER



EXTERIOR PHOTO-3:
WEST ELEVATION - RIGHT



EXTERIOR PHOTO-4:
SOUTH ELEVATION



EXTERIOR PHOTO-5:
EAST ELEVATION - LEFT



EXTERIOR PHOTO-6:
EAST ELEVATION - CENTER



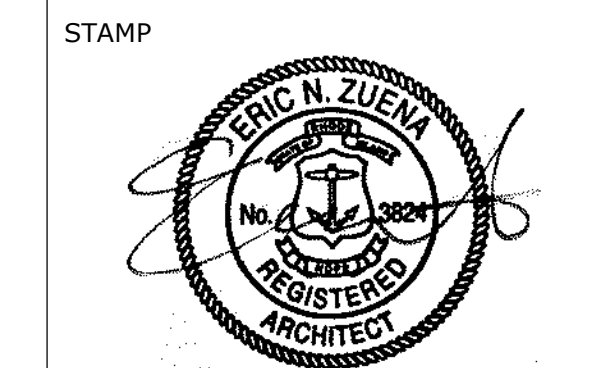
EXTERIOR PHOTO-7:
EAST ELEVATION - RIGHT



EXTERIOR PHOTO-8:
NORTH ELEVATION

CLIENT
ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT
ZDS
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699
1405 RHODE ISLAND AVENUE NW
WASHINGTON, DC 20005
+1.202.660.0555



CONSULTANT

PROJECT NAME
**RECREATIONAL
CANNABIS
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1112 RESERVOIR AVE
CRANSTON, RI 02910

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NO.	DESCRIPTION	DATE

**DEVELOPMENT
PLAN REVIEW**

ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
**DEMO IMAGES -
EXTERIOR**

DRAWING NO.
D1.10

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KEYNOTES: INTERIOR DEMOLITION

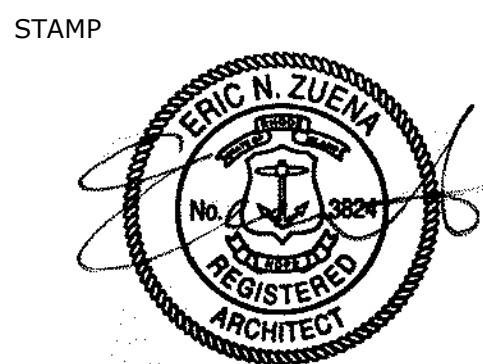
- DEMOLISH ALL INTERIOR FLOOR FINISHES DOWN TO SUB-FLOOR, PREPARE FOR NEW FLOOR FINISH.
- DEMOLISH ALL WOOD WALL PANELING, FINISH TRIM, & WOOD SILLS. EXTERIOR WALL STRUCTURAL MEMBERS TO REMAIN, PREP FOR NEW GWB & PAINT FINISH.
- DEMOLISH WALL PARTITION IN IT'S ENTIRETY. REFER TO DEMO FLOOR PLAN FOR SCOPE & EXTENT. STRUCTURAL MEMBERS, LOAD BEARING WALLS, & LALLY COLUMNS TO REMIAN. REFER TO S-DWGS.
- DEMOLISH CEILING & SUPPORTING ELEMENTS IN IT'S ENTIRETY.
- DEMOLISH ALL LIGHT FIXTURES, FANS, SPEAKERS, MEP (HEATERS, HVAC DUCTWORK, VENTS, EXHAUST), EMERGENCY LIGHTING, & ALARM SYSTEMS. REMOVATE ALL ELECTRICAL BACK TO SOURCE.
- DEMOLISH KITCHEN EQUIPMENT, PLUMBING, & COMPONENTS BACK TO SOURCE.
- DEMOLISH MISC. BUILT-IN CASEMENT FURNITURE, SHELIVING, SERVICE DESKS, CABINETS, & ASSOCIATED EQUIPMENT.

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- DEMOLISH
- █ EXISTING
- # REFER TO KEYNOTE
- # TYP REFER TO KEYNOTE, TYPICAL NOTE

CLIENT
ANCORA ADVISORS LLC
 187 SHADOW BROOK DRIVE
 WARWICK, RI 02886

ARCHITECT
ZDS
ZDS inc.
 2 CHARLES STREET, SUITE A1
 PROVIDENCE, RI 02904
 +1.401.680.6699
 1405 RHODE ISLAND AVENUE NW
 WASHINGTON, DC 20005
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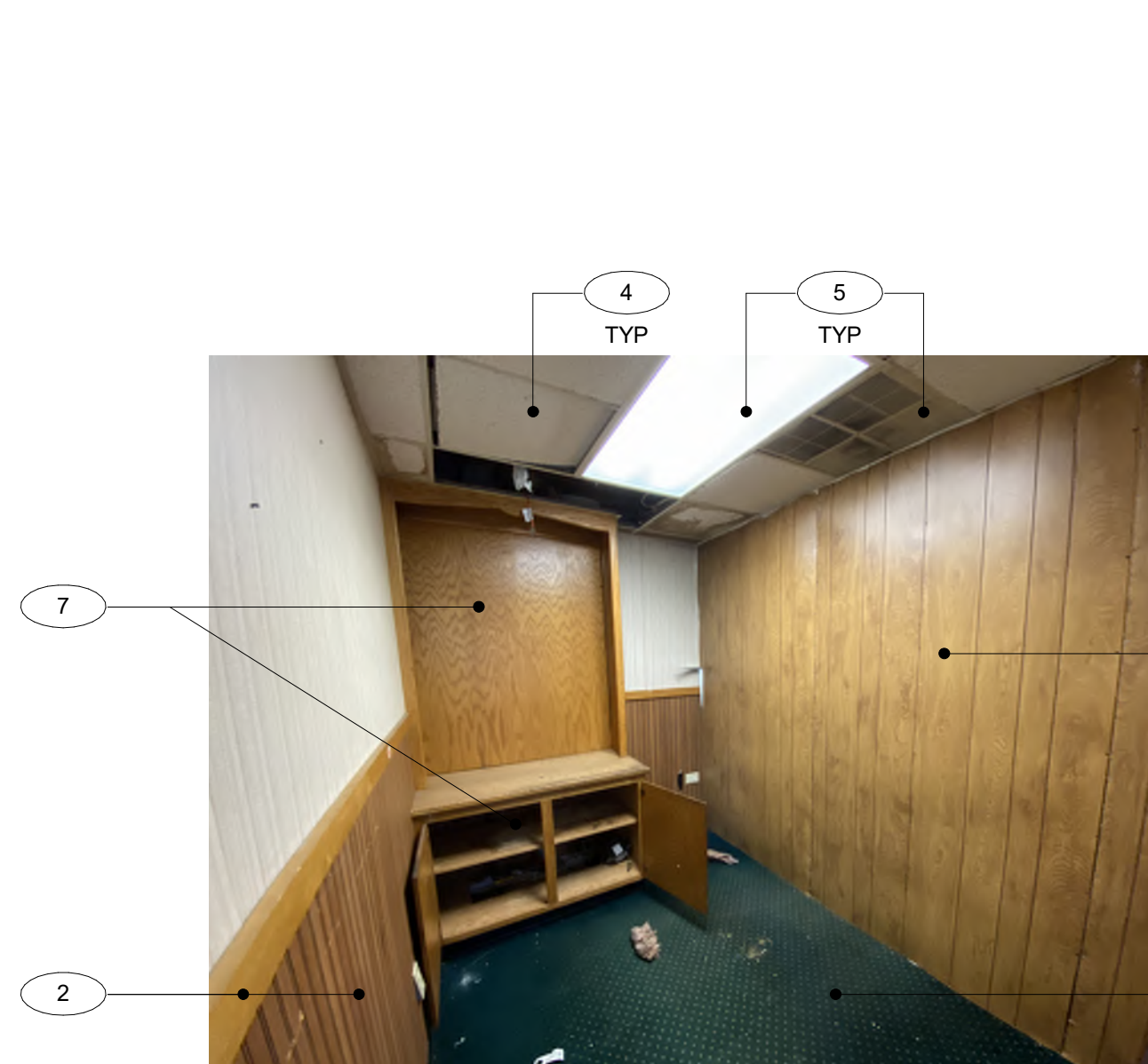
DEVELOPMENT PLAN REVIEW

ISSUED DATE: DECEMBER 15, 2023

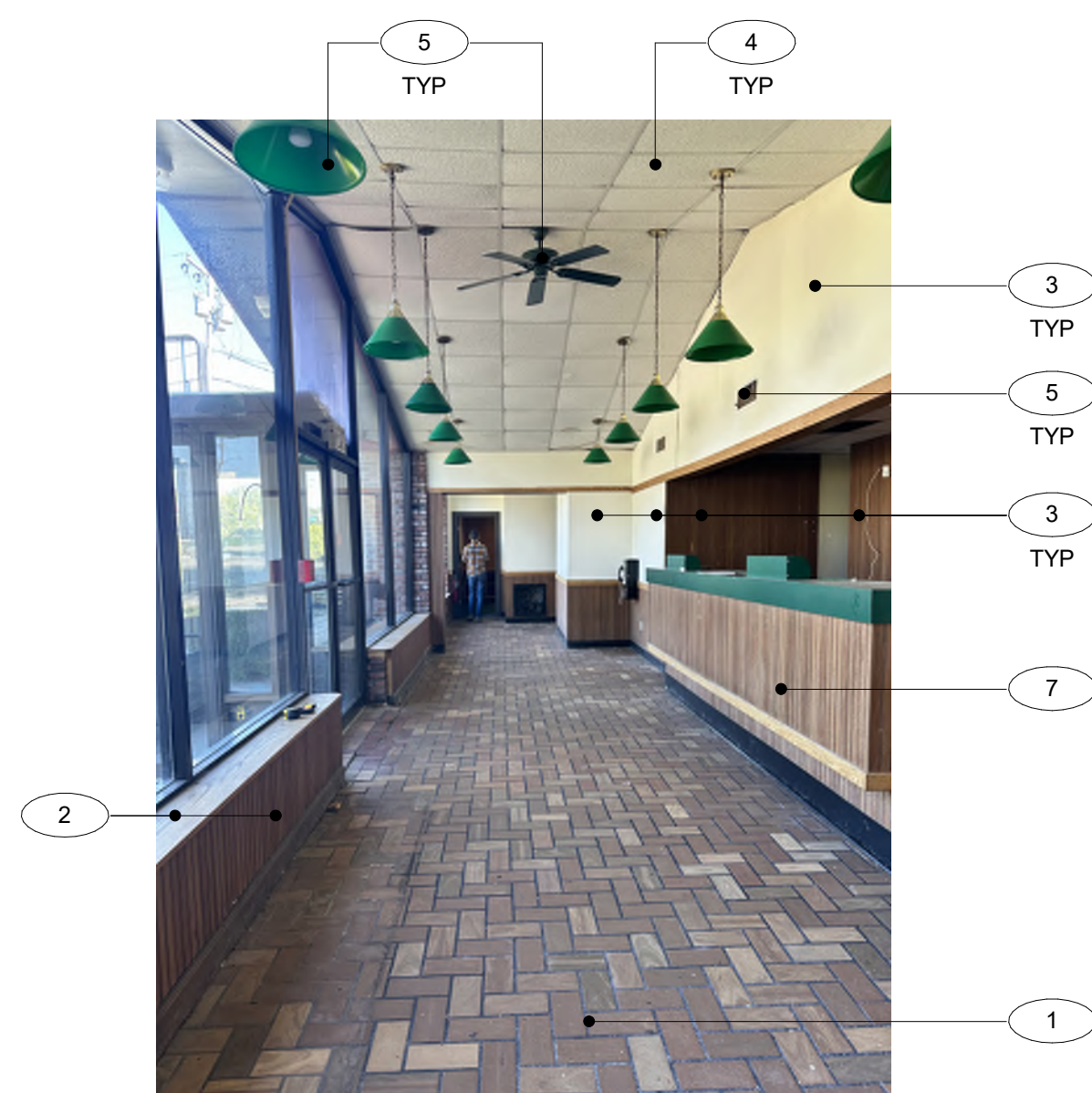
SHEET TITLE
DEMO IMAGES - INTERIOR

DRAWING NO.

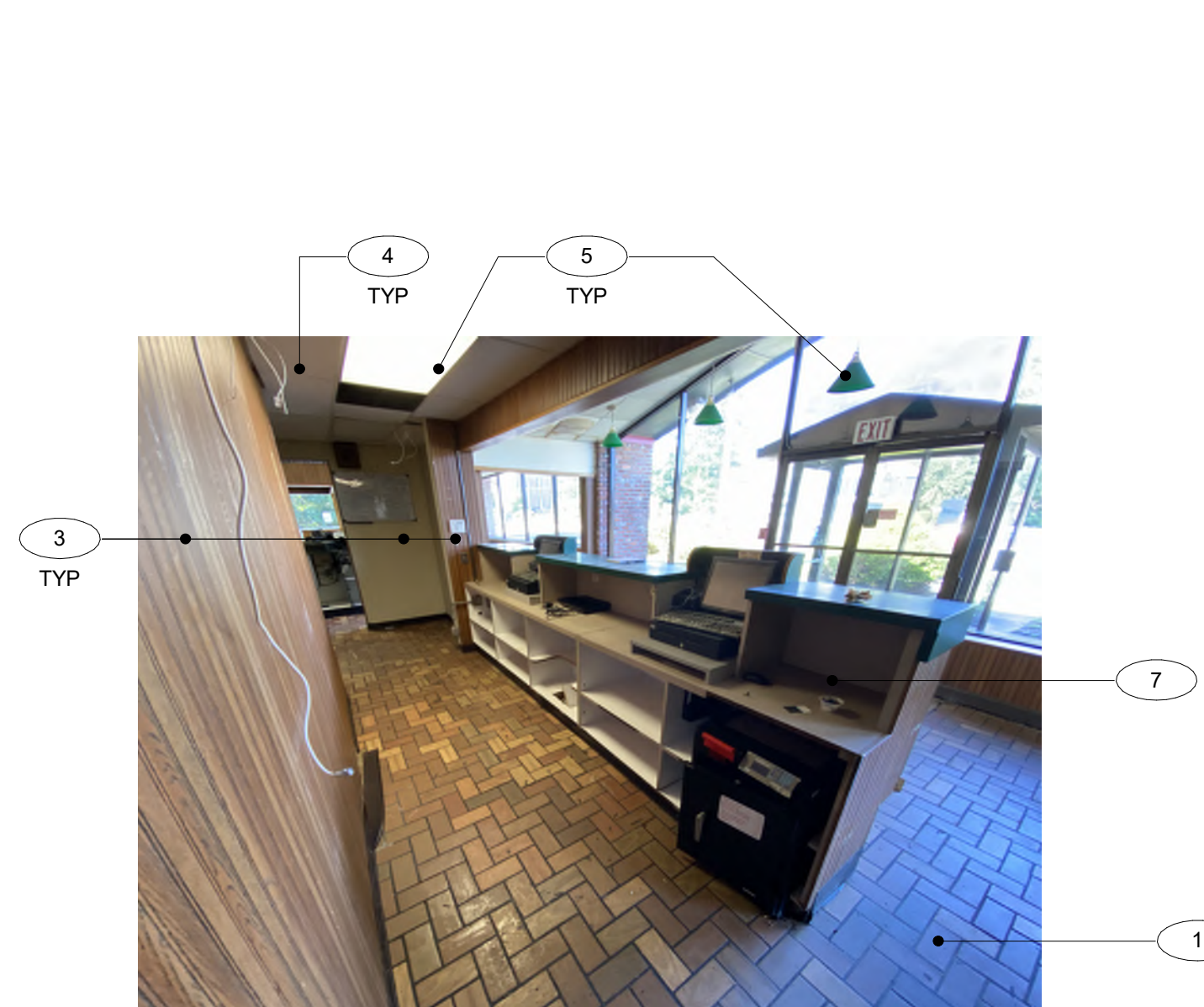
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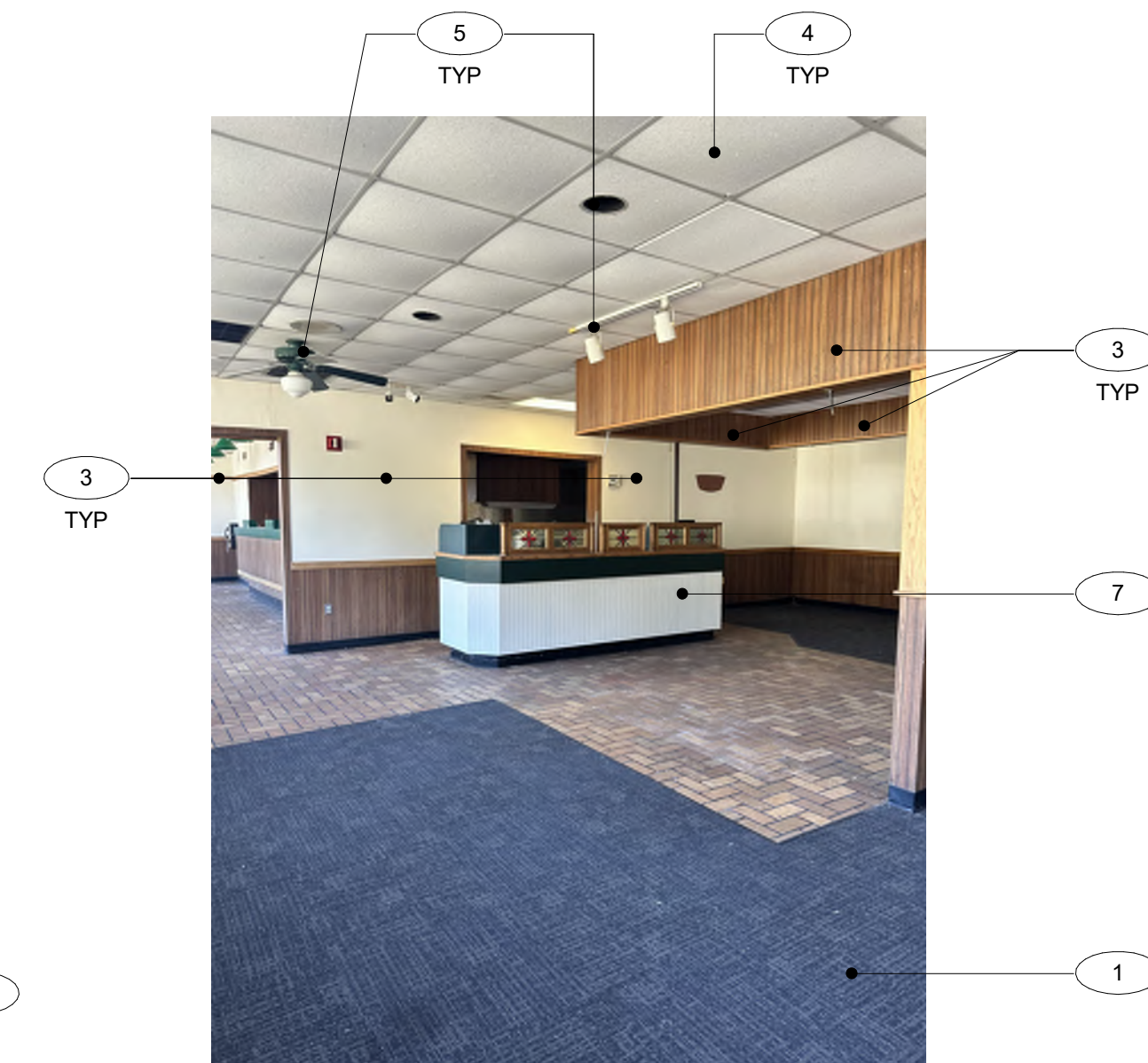
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OFFICE**



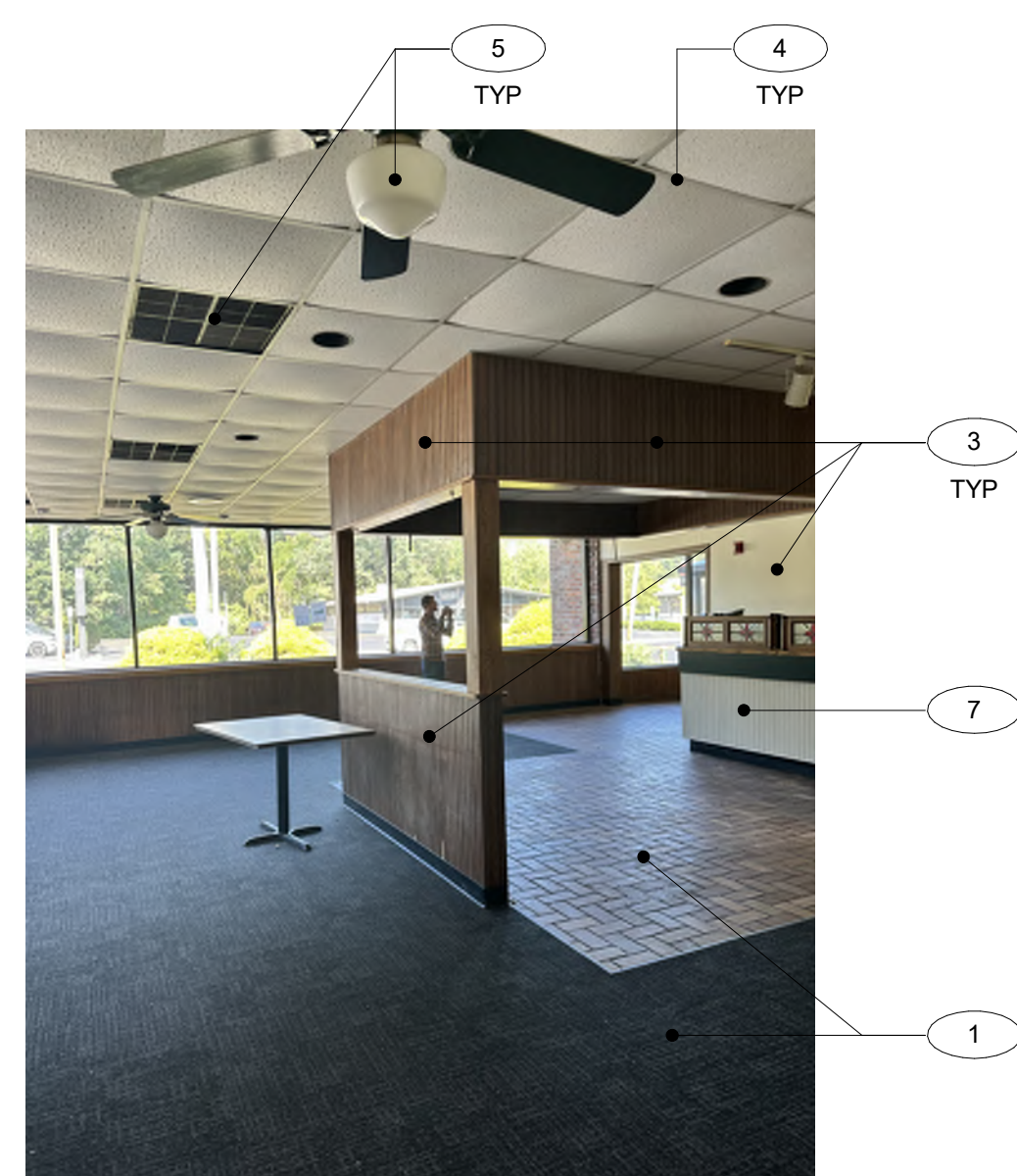
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LOBBY**



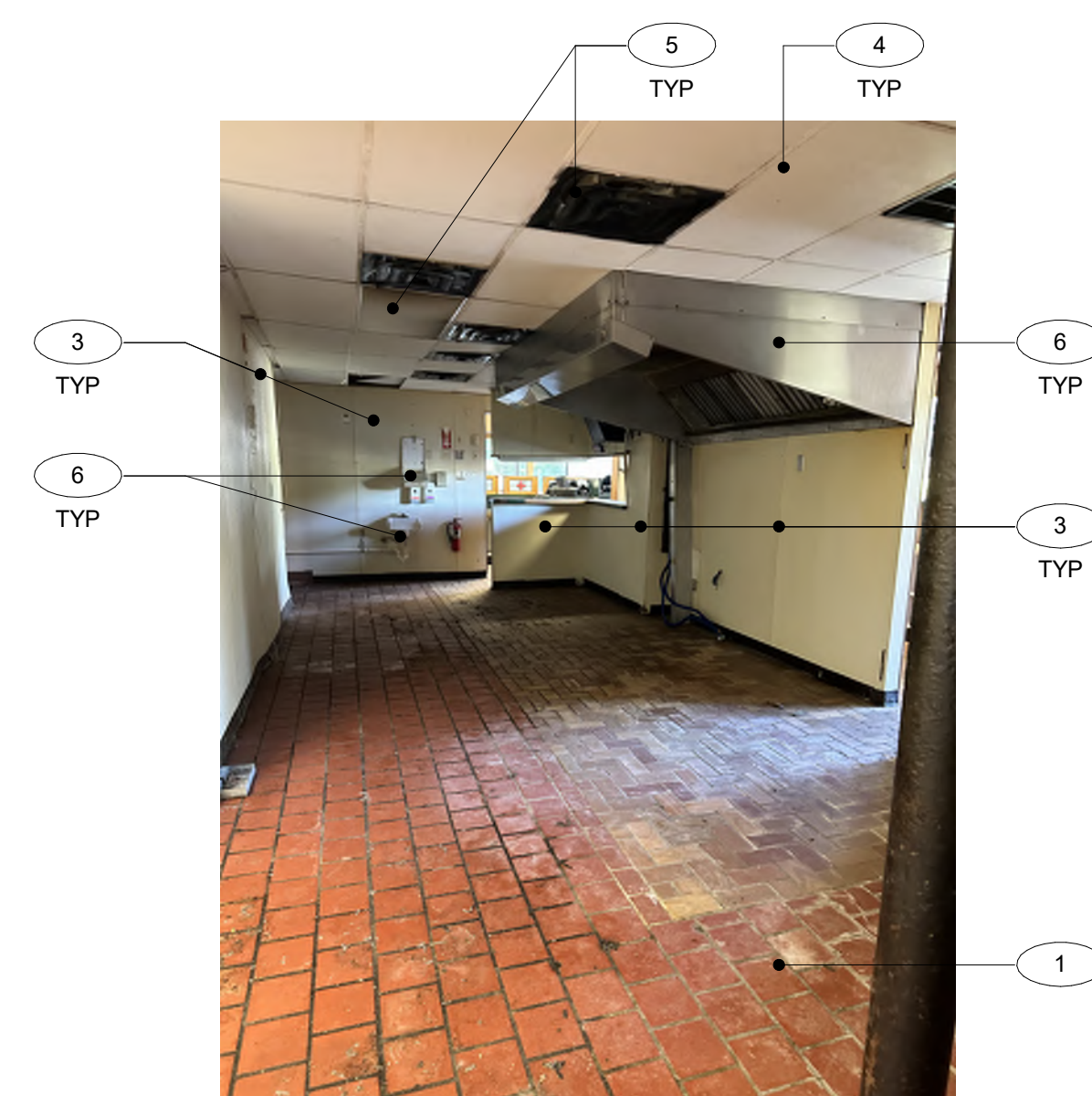
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SERVICE COUNTER**



**INTERIOR PHOTO-4:
DINING ROOM-1**



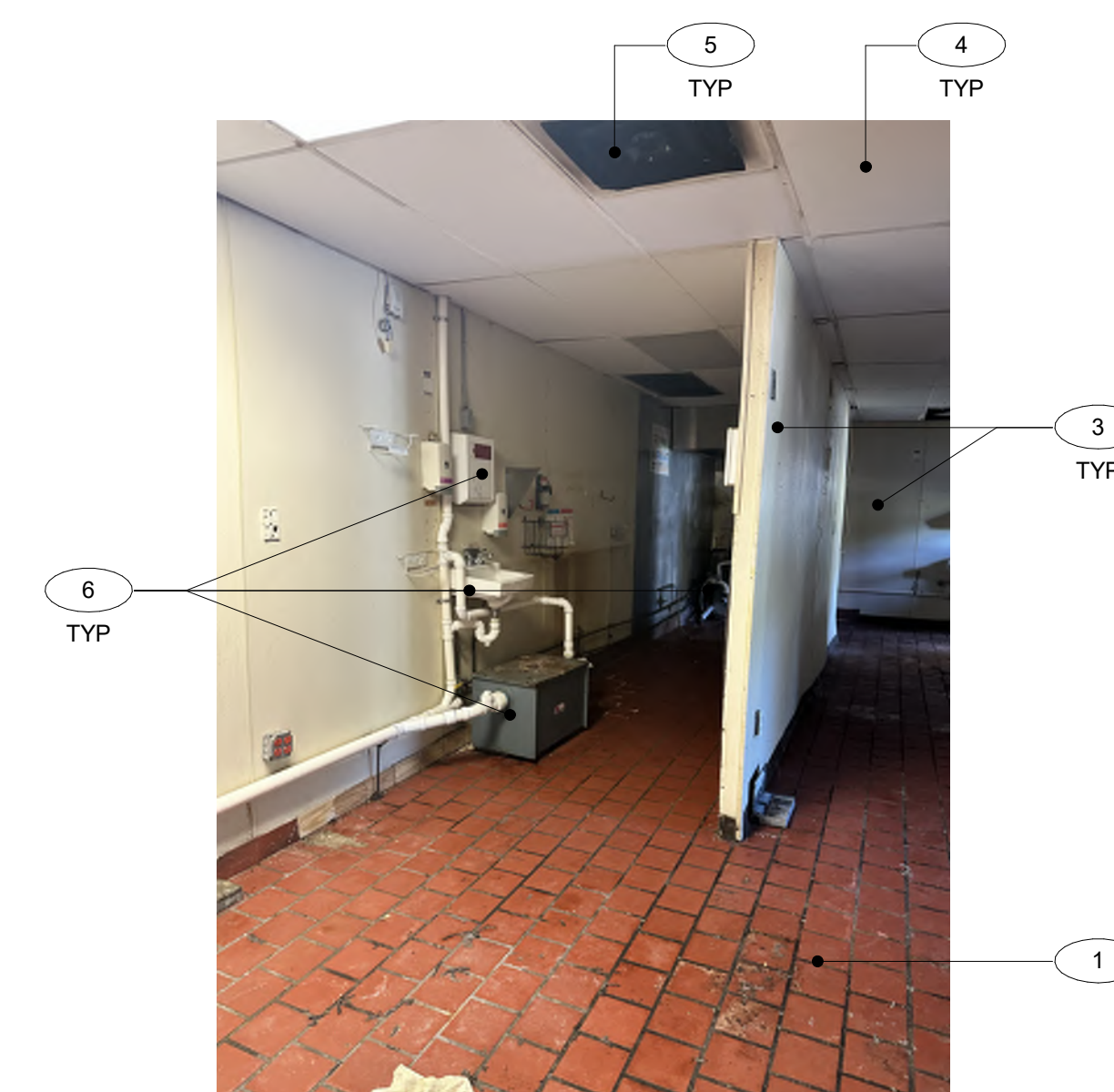
**INTERIOR PHOTO-5:
DINING ROOM-2**



**INTERIOR PHOTO-6:
KITCHEN-1**



**INTERIOR PHOTO-8:
KITCHEN-2**

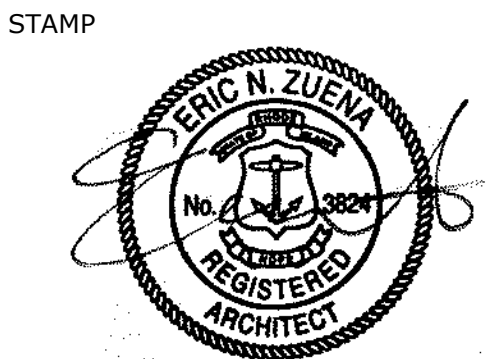


**INTERIOR PHOTO-8:
KITCHEN-3**

<p style="text-align: center;"><u>GENERAL NOTES: DEMOLITION</u></p> <ol style="list-style-type: none"> ALL DIRECTION TO REMOVE AND LEGALLY DISPOSE OF ANY ITEM AND ALL OF ITS ASSOCIATED PARTS IN ITS ENTIRETY, IS NOTED BY THE USE OF ANY OF THE FOLLOWING LANGUAGE: "REMOVE", "REMOVE AND DISPOSE", "R/D", "DEMOLISH", "DEMO". DEMOLITION SCOPE IS DESCRIBED THROUGHOUT THE DOCUMENT SET. SELECTIVE DEMOLITION FOR PIPE, DUCT, AND OTHER MEP OR STRUCTURAL PENETRATIONS ARE TO BE PROVIDED AND OVER-DEMOLISH AS REQUIRED TO PROPERLY INSTALL NEW WORK. DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES AND MAY NOT SHOW ALL DEMOLITION WORK REQUIRED TO COMPLETE THE CONTRACT WORK. REMOVE ALL UNNECESSARY/ ABANDONED IN PLACE/ OR EXTRANEOUS M,E,P,FP SYSTEMS WORK. GC TO VERIFY. THE GENERAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REMOVING ALL EXISTING MATERIALS WHICH WOULD OTHERWISE INTERFERE WITH THE PROPER INSTALLATION OR FUNCTION OF THE NEW WORK. PROTECT EXISTING TO REMAIN AREAS DURING CONSTRUCTION AND DEMOLITION ACTIVITIES (BATHROOMS, UTILITY CONNECTIONS). PATCH & REPAIR ANY DAMAGE CAUSED DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. IN AREAS INDICATED FOR DEMOLITION, REMOVE ALL FINISH FLOORING AND ALL ASSOCIATED MASTICS AND FASTENERS. REMOVE ALL FINISHES DOWN TO SUBFLOOR LAYER. NOTE EXISTING CONDUIT, PIPES AND ELECTRICAL SCHEDULED TO BE DEMOLISHED ARE TO BE REMOVED TO BELOW SLAB FOR PROPER INSTALLATION OF NEW FLOORING. REMOVE ALL BASE AND BASE CAPS WHETHER INTEGRAL TO FLOOR MATERIAL OR NOT. FLASH PATCH HOLES RESULTING FROM DEMOLITIONS, ALL PREPARATORY WORKS SHALL BE TO THE SATISFACTION OF THE MANUFACTURERS WALLS: PREPARE ALL EXISTING WALL SURFACES, NO EXCEPTION, WITHIN PROJECT WORK AREA; BY SCRAPING, CLEANING, AND FREE ALL WALLS OF MASTIC, LOOSE PAINTS, MISC. FASTENERS, HOOKS, TACKS, STAPLES, HONEYCOMBING, ETC. NOTE EXISTING CONDUIT, PIPES AND ELECTRICAL SCHEDULED TO BE DEMOLISHED ARE TO BE REMOVED AND CAPPED TO WITHIN WALL CAVITY OR ABOVE FINISHED CEILING. FLASH PATCH HOLES RESULTING FROM DEMOLITIONS, ALL PREPARATORY WORKS SHALL BE TO THE SATISFACTION OF THE MANUFACTURERS STANDARDS FOR THE NEW PRODUCT. WHERE THE PLANS CALL FOR THE REMOVAL OF AN ITEM, BOARD, PANEL, DEVICES, EQUIPMENT, ETC. IT IS UNDERSTOOD THAT ALL ASSOCIATED ANCHORING SYSTEMS AND ACCESSORIES AND/OR HARDWARE SHALL BE REMOVED ACCORDINGLY. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT THE APPROVAL OF THE A STRUCTURAL ENGINEER. ALL EXISTING LIGHT FIXTURES, OUTLETS, AND WIRES TO BE REMOVED BACK TO SOURCE AT NOTED LOCATIONS. CONFIRM WITH ELECTRICAL ENGINEER. ALL INTERIOR PARTITIONS SHOWN AS DASHED ARE TO BE REMOVED AND DISPOSED IN THEIR ENTIRETY. THE LIST OF DEMOLITION KEY NOTES IS GENERAL IN NATURE AND INCLUDED FOR THE CONTRACTOR'S CONVENIENCE. ALL DEMOLITION REQUIRED FOR THE WORK INCLUDES, BUT IS NOT LIMITED TO THOSE AREAS NOTED BY DEMOTION KEY NOTES. REFER TO DEMO PLANS, RCP, & ELEVATIONS AS WELL. ANY ADDITIONAL DEMOLITION AND/OR STRUCTURAL SHORING WILL BE COORDINATED BY GENERAL CONTRACTOR. PRIOR TO COMMENCEMENT OF ANY WORK ALL LEAD & ASBESTOS TESTING SHALL BE PERFORMED BY OWNER. 	<p style="text-align: center;"><u>KEYNOTES: INTERIOR DEMOLITION</u></p> <ol style="list-style-type: none"> DEMOLISH ALL INTERIOR FLOOR FINISHES DOWN TO SUB-FLOOR, PREPARE FOR NEW FLOOR FINISH. DEMOLISH ALL WOOD WALL PANELING, FINISH TRIM, & WOOD SILLS. EXTERIOR WALL STRUCTURAL MEMBERS TO REMAIN, PREP FOR NEW GWB & PAINT FINISH. DEMOLISH WALL PARTITION IN IT'S ENTIRETY. REFER TO DEMO FLOOR PLAN FOR SCOPE & EXTENT. STRUCTURAL MEMBERS, LOAD BEARING WALLS, & LALLY COLUMNS TO REMIAN. REFER TO S-DWGS. DEMOLISH CEILING & SUPPORTING ELEMENTS IN IT'S ENTIRETY. DEMOLISH ALL LIGHT FIXTURES, FANS, SPEAKERS, MEP (HEATERS, HVAC DUCTWORK, VENTS, EXHAUST), EMERGENCY LIGHTING, & ALARM SYSTEMS. REMOVATE ALL ELECTRICAL BACK TO SOURCE. DEMOLISH KITCHEN EQUIPEMENT, PLUMBING, & COMPONENTS BACK TO SOURCE. DEMOLISH MISC. BUILT-IN CASEMENT FURNITURE, SHELVEING, SERVICE DESKS, CABINETS, & ASSOCIATED EQUIPMENT. <p>NOTE: REFER TO MEP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL AND PLUMBING COORDINATION. ARCHITECTURAL DEMOLITION DRAWINGS ARE FOR DESIGN DIRECTION AND DESIRED COMPONENTS TO BE DEMOLISHED FOR PROPOSED WORK. NOTIFY ARCHITECT IF UNABLE TO COMPLETE ANY ASPECT OF THE DEMOLITION SCOPE.</p>								
	<table border="0"> <tr> <td>-----</td> <td>DEMOLISH</td> </tr> <tr> <td>———</td> <td>EXISTING</td> </tr> <tr> <td>#</td> <td>REFER TO KEYNOTE</td> </tr> <tr> <td># TYP</td> <td>REFER TO KEYNOTE, TYPICAL NOTE</td> </tr> </table>	-----	DEMOLISH	———	EXISTING	#	REFER TO KEYNOTE	# TYP	REFER TO KEYNOTE, TYPICAL NOTE
-----	DEMOLISH								
———	EXISTING								
#	REFER TO KEYNOTE								
# TYP	REFER TO KEYNOTE, TYPICAL NOTE								

CLIENT
ANCORA ADVISORS LLC
 187 SHADOW BROOK DRIVE
 WARWICK, RI 02886

ARCHITECT **ZDS**
ZDS inc.
 2 CHARLES STREET, SUITE A1
 PROVIDENCE, RI 02904
 +1.401.680.6699
 1405 RHODE ISLAND AVENUE NW
 WASHINGTON, DC 20005
 +1.202.660.0555



CONSULTANT

PROJECT NAME
RECREATIONAL CANNABIS DISPENSARY

1112 RESERVOIR AVE
 CRANSTON, RI 02910

PROJECT NO. 23111
 THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO.	DESCRIPTION	DATE

DEVELOPMENT PLAN REVIEW

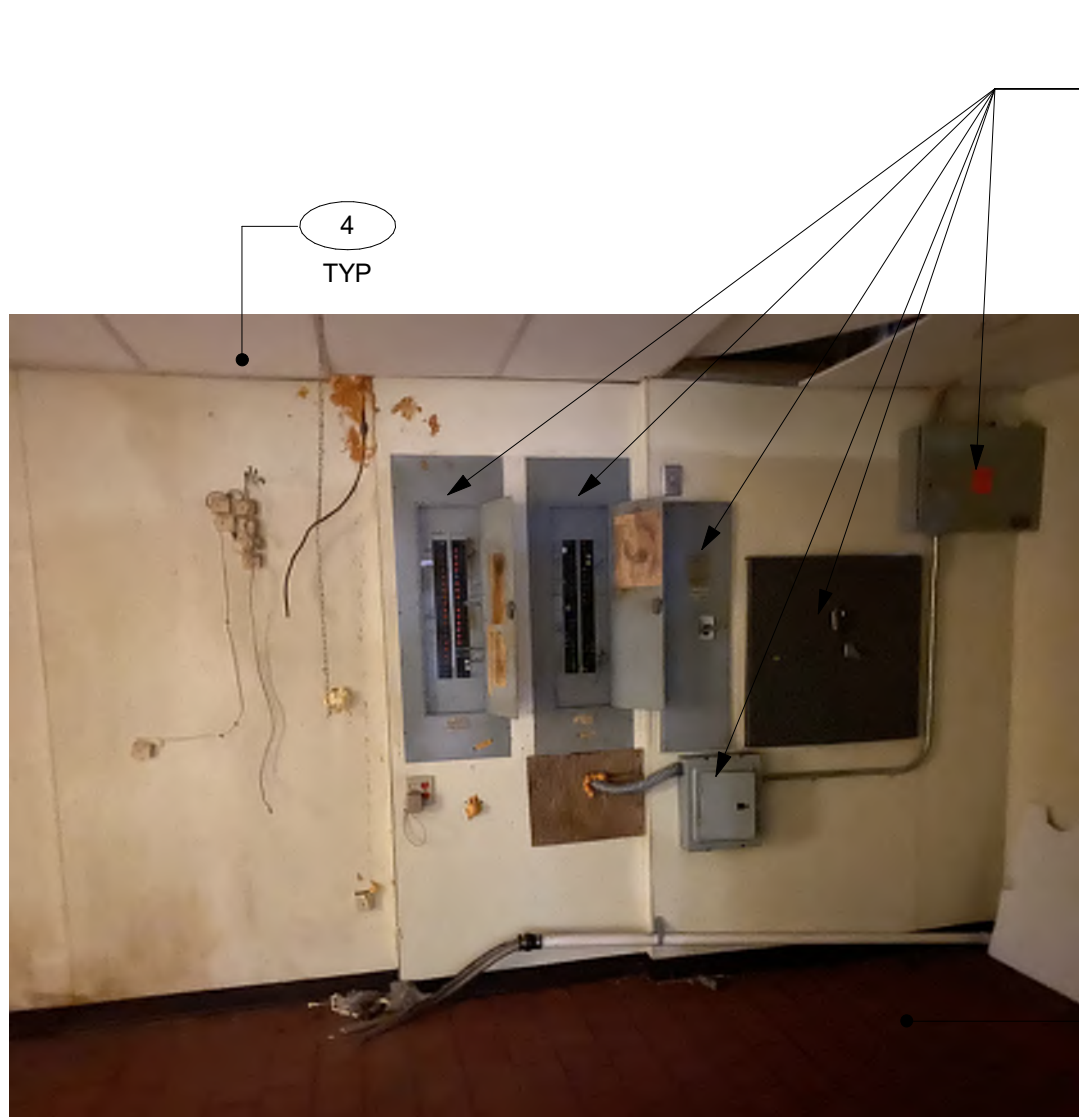
ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
DEMO IMAGES - INTERIOR

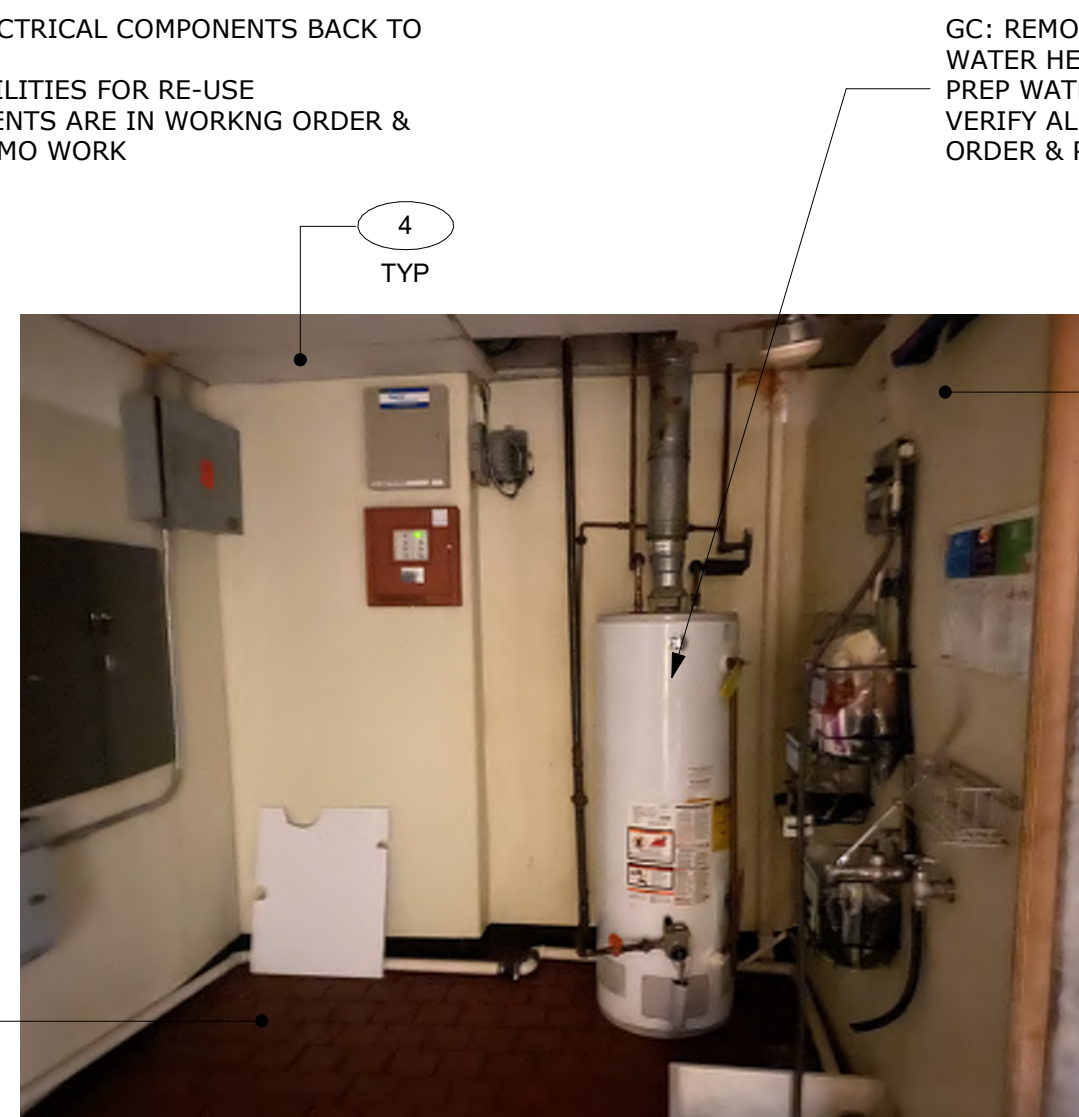
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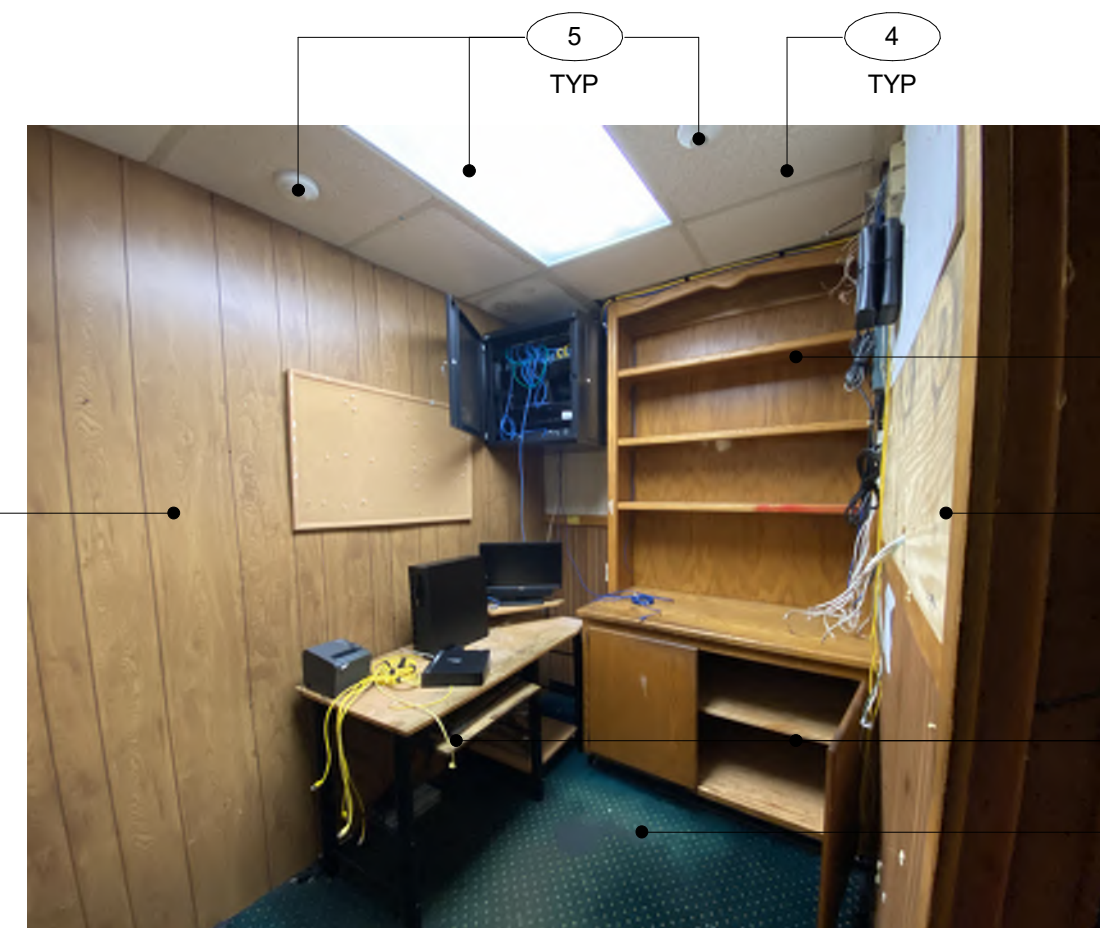
**INTERIOR PHOTO-9:
 REAR ENTRY**



**INTERIOR PHOTO-10:
 UTILITIES**



**INTERIOR PHOTO-11:
 UTILITIES**



**INTERIOR PHOTO-12:
 OFFICE-2**

GC: REMOVE ALL ELECTRICAL COMPONENTS BACK TO SWITCH BOARD.
 PREP ELECTRICAL UTILITIES FOR RE-USE.
 VERIFY ALL COMPONENTS ARE IN WORKING ORDER & PROTECT DURING DEMO WORK

GC: REMOVE ALL PLUMBING BACK TO HOT WATER HEATER.
 PREP WATER UTILITIES FOR RE-USE.
 VERIFY ALL COMPONENTS ARE IN WORKING ORDER & PROTECT DURING DEMO PHASE.

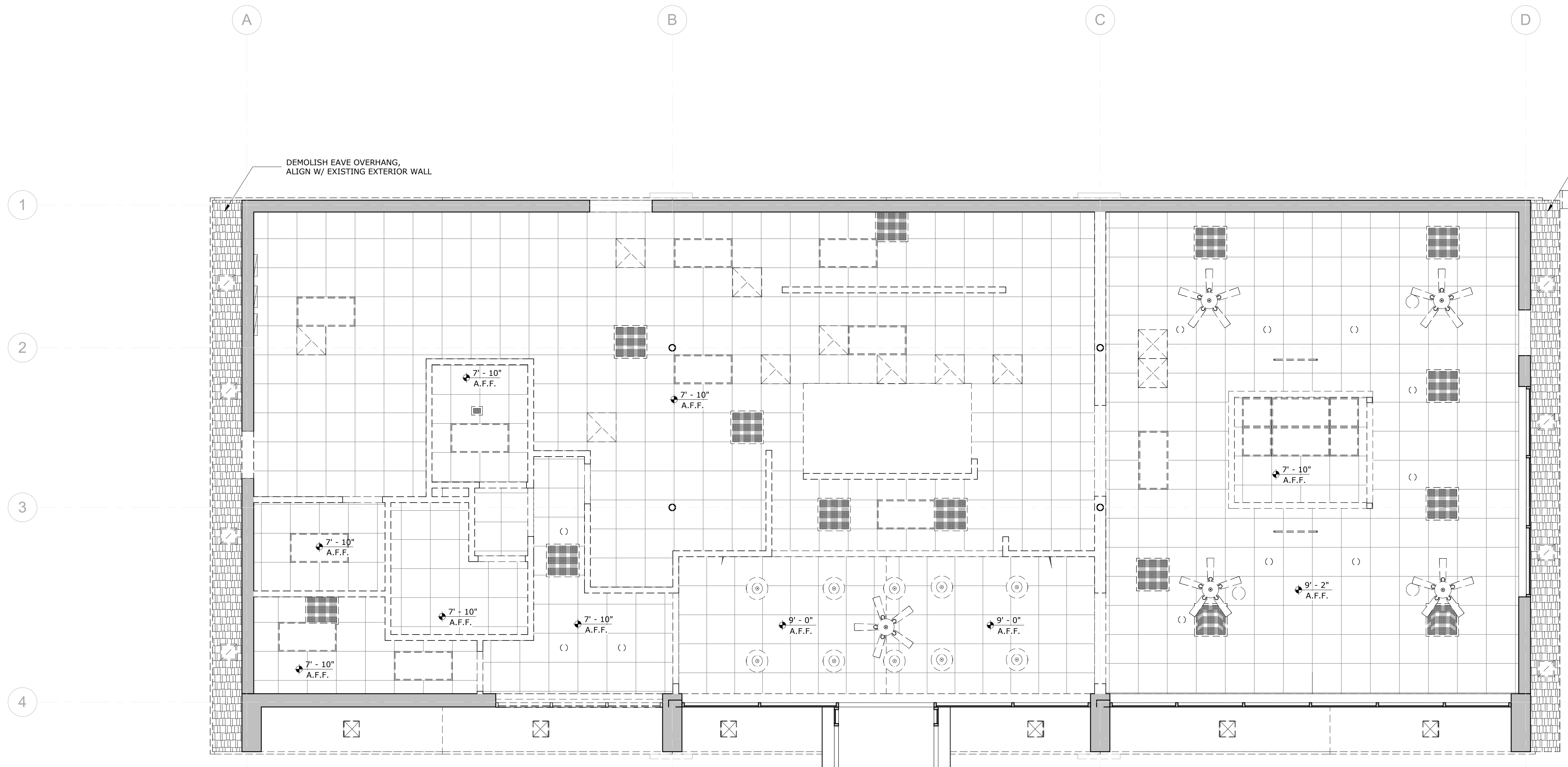
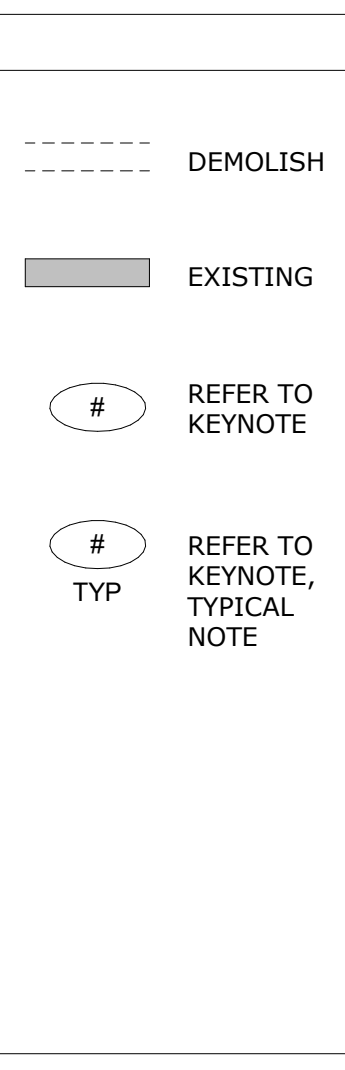
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- ANY ADDITIONAL DEMOLITION AND/OR STRUCTURAL SHORING WILL BE COORDINATED BY GENERAL CONTRACTOR.
- PRIOR TO COMMENCEMENT OF ANY WORK ALL LEAD & ASBESTOS TESTING SHALL BE PERFORMED BY OWNER.
- CAP ALL EXISTING PLUMBING. DISCONNECT FROM MAIN FEEDS.
- DEMOLITION SCOPE WORK INTENT**
- REMOVE EXISTING ELECTRICAL OUTLETS, CONDUITS, & SWITCHES. PULL BACK ALL WIRING TO MAIN PANELS
- DEMO INTENT IS FOR A CLEAN INTERIOR SHELL.
- REFER TO EXTERIOR & INTERIOR DEMO IMAGES FOR ADDITIONAL SCOPE.

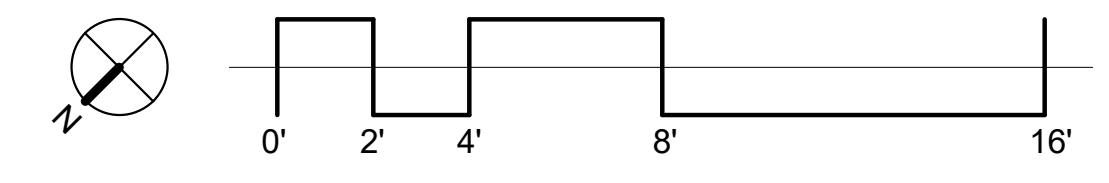
KEYNOTES: EXTERIOR

- SCRAPE, CLEAN, & PREP EXG WOOD FASCIA BOARDS IN PREPARATION FOR NEW PAINT/FINISH.
- DEMOLISH ALL LIGHT/ELECTRICAL FIXTURES & THEIR COMPONENTS IN THEIR INTIRETY BACK TO SOURCE. PATCH & REPAIR SOFIT IN-KIND. REFER TO FINISH SCHEDULE FOR NEW FINISH.
- DEMOLISH GUTTER & DOWNSPUTS. REPLACE W/ NEW GUTTER & DOWNSPOUT IN-KIND. REFER TO FINISH SCHEDULE.
- DEMOLISH ALL MISCELLANEOUS FIXTURES & THEIR COMPONENTS IN THEIR INTIRETY BACK TO SOURCE. PATCH & REPAIR AREA OF WORK IN-KIND. REFER TO FINISH SCHEDULE FOR NEW FINISH.
- SCRAPE, CLEAN, & PREP EXG VERTICAL WOOD CLADDING IN PREPARATION FOR NEW PAINT/FINISH.
- CLEAN & PREP EXG WINDOWS IN PREPARATION FOR WINDOW FILM APPLICATION & NEW SEALANT.
- REMOVE DOOR & COMPONENTS IN THEIR ENTIRETY. INFILL WALL W/ CMU IN-KIND.
- DEMOLISH ALL ROOF-TOP MECHANICAL, KITCHEN, UN-REUSABLE EQUIPMENT FROM ROOF. PATCH & REPAIR ROOF IN-KIND TO MEET MANUFACTURERS WARANTY.
- CLEAN & PREP CMU FOR NEW PAINT. REPOINT IF REQUIRED.
- CLEAN & PREP CONCRETE FOUNDATION FOR NEW PAINT. REPAIR IF REQUIRED.

NOTE: REFER TO MEP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL AND PLUMBING COORDINATION. ARCHITECTURAL DEMOLITION DRAWINGS ARE FOR DESIGN DIRECTION AND DESIRED COMPONENTS TO BE DEMOLISHED FOR PROPOSED WORK. NOTIFY ARCHITECT IF UNABLE TO COMPLETE ANY ASPECT OF THE DEMOLITION SCOPE.



1 DEMO - REFLECTED CEILING PLAN
1/4" = 1'-0"



CLIENT
ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT
ZDS
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699

1405 RHODE ISLAND AVENUE NW
WASHINGTON, DC 20005
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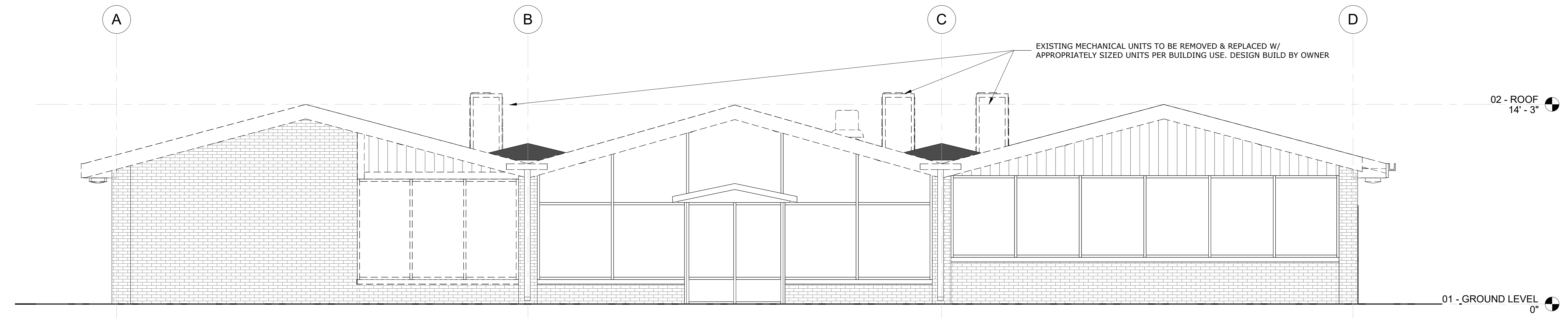
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DEVELOPMENT PLAN REVIEW

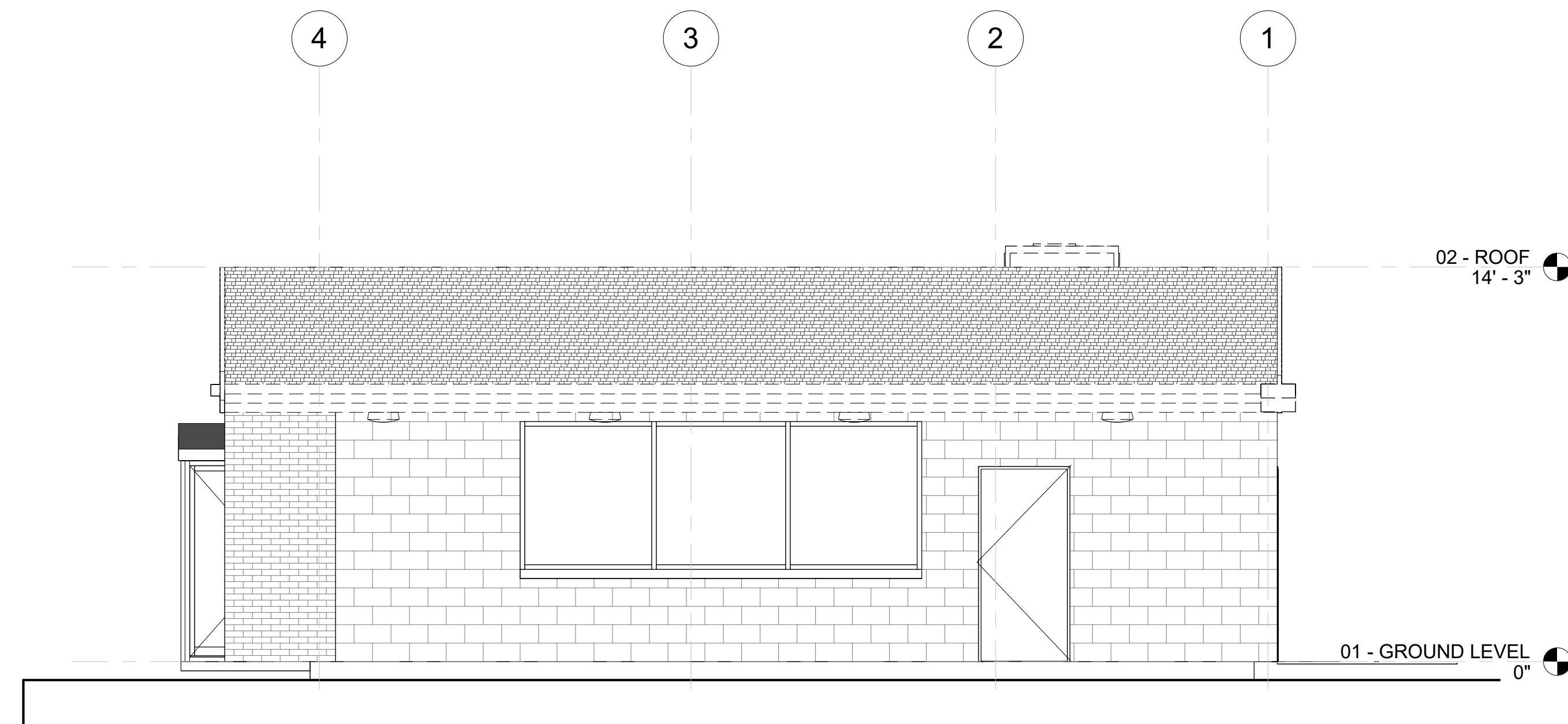
ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
DEMO REFLECTED CEILING PLAN

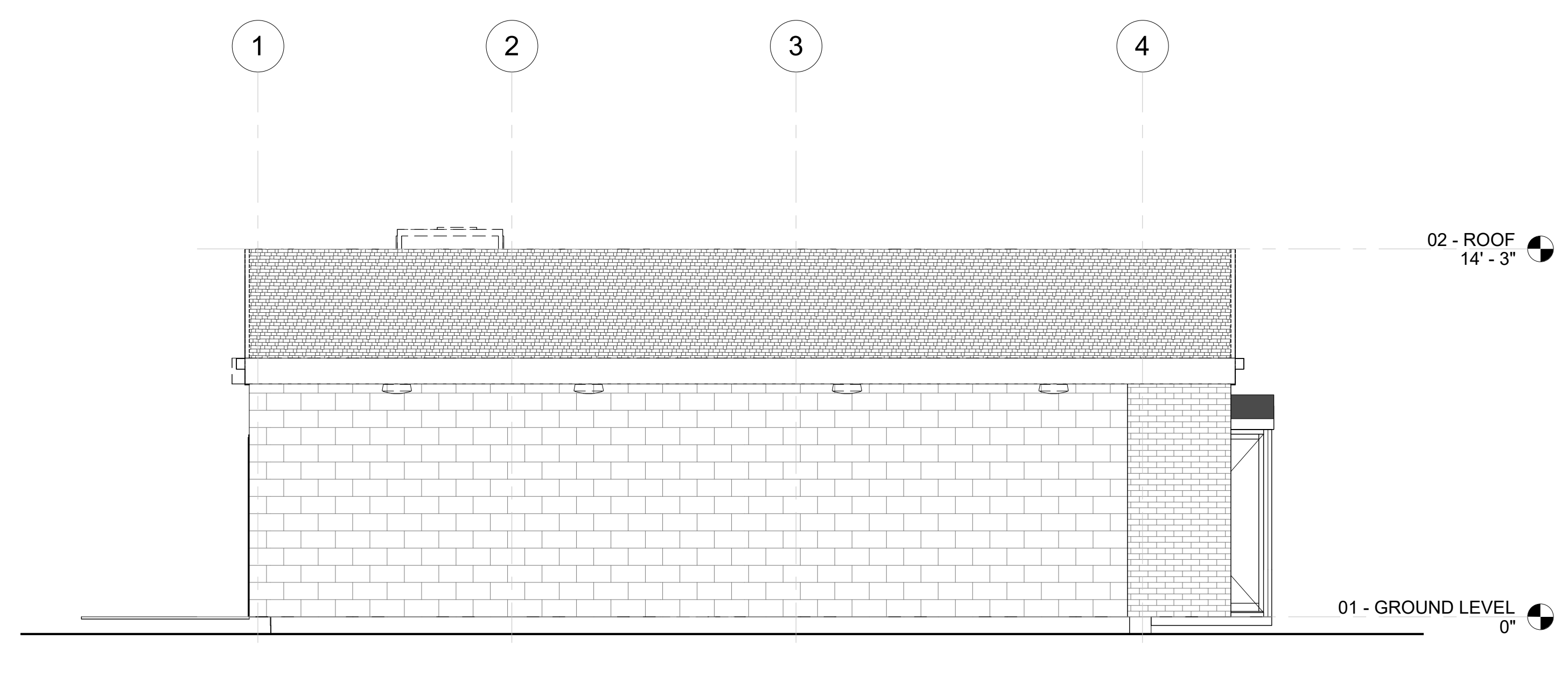
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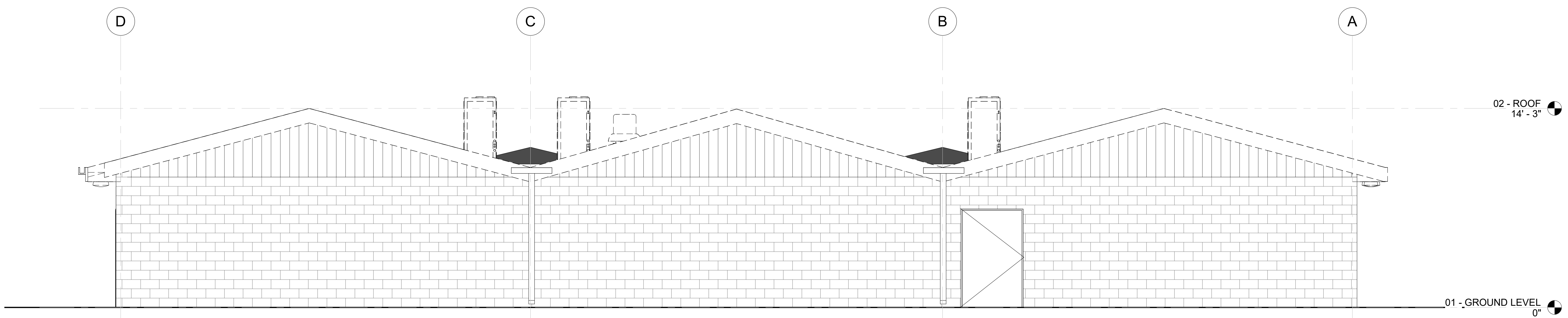
1 DEMO - WEST ELEVATION (RESERVOIR AVE)
1/4" = 1'-0"



2 DEMO - SOUTH ELEVATION
1/4" = 1'-0"



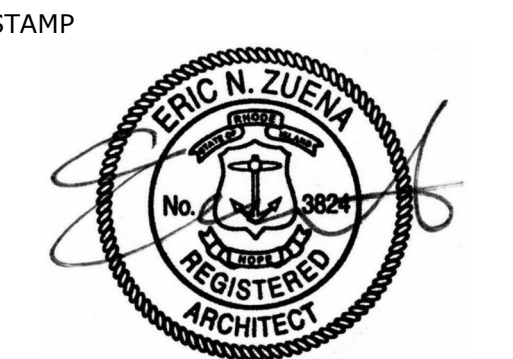
3 DEMO - NORTH ELEVATION (DELWAY ROAD)
1/4" = 1'-0"



4 DEMO - EAST ELEVATION
1/4" = 1'-0"

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ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT **ZDS**
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699
1405 RHODE ISLAND AVENUE NW
WASHINGTON, DC 20005
+1.202.660.0553



CONSULTANT

PROJECT NAME
**RECREATIONAL
CANNABIS
DISPENSARY**

1112 RESERVOIR AVE
CRANSTON, RI 02910

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**DEVELOPMENT
PLAN REVIEW**

ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
**DEMO
ELEVATIONS**

DRAWING NO.

D3.00



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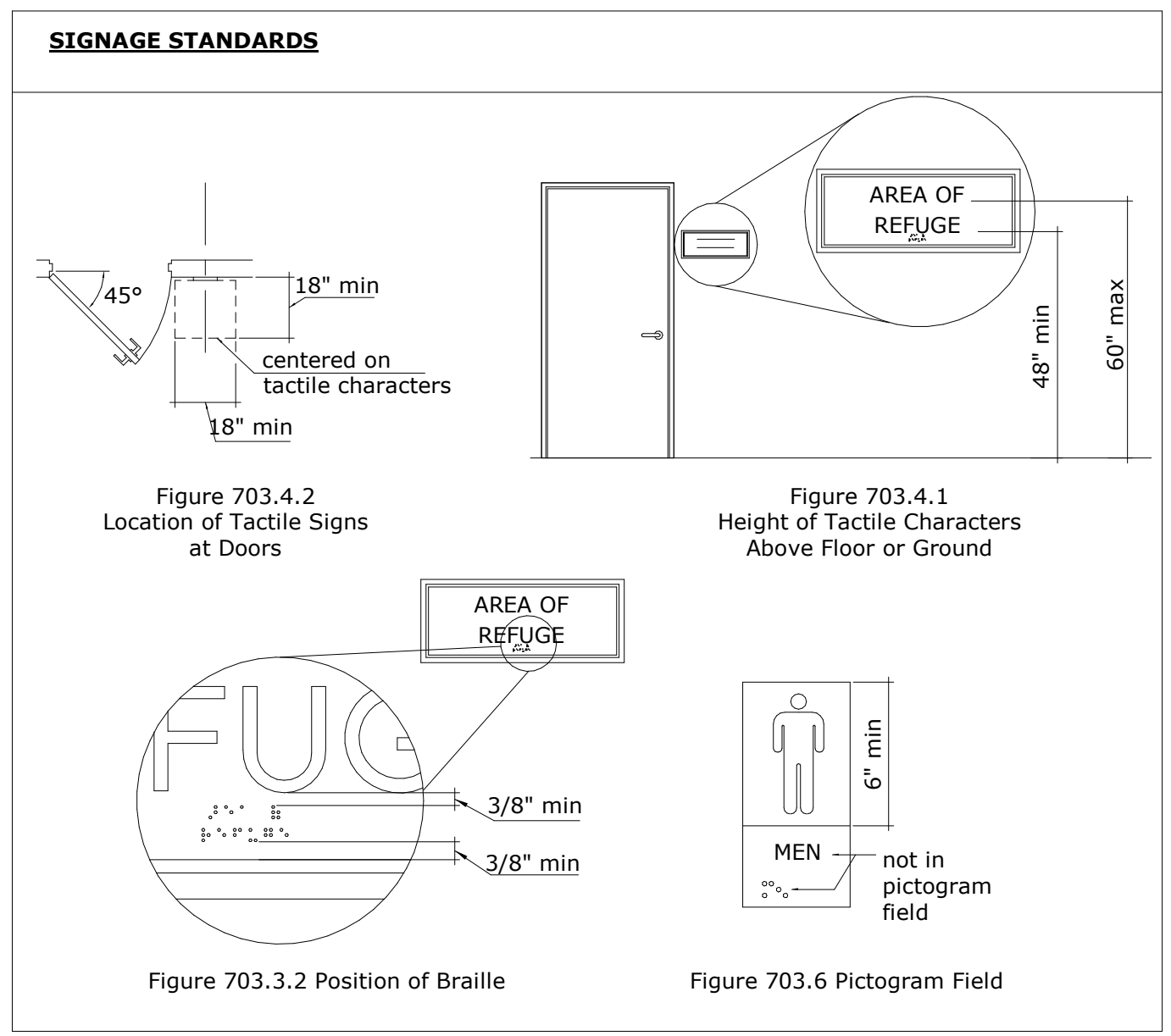
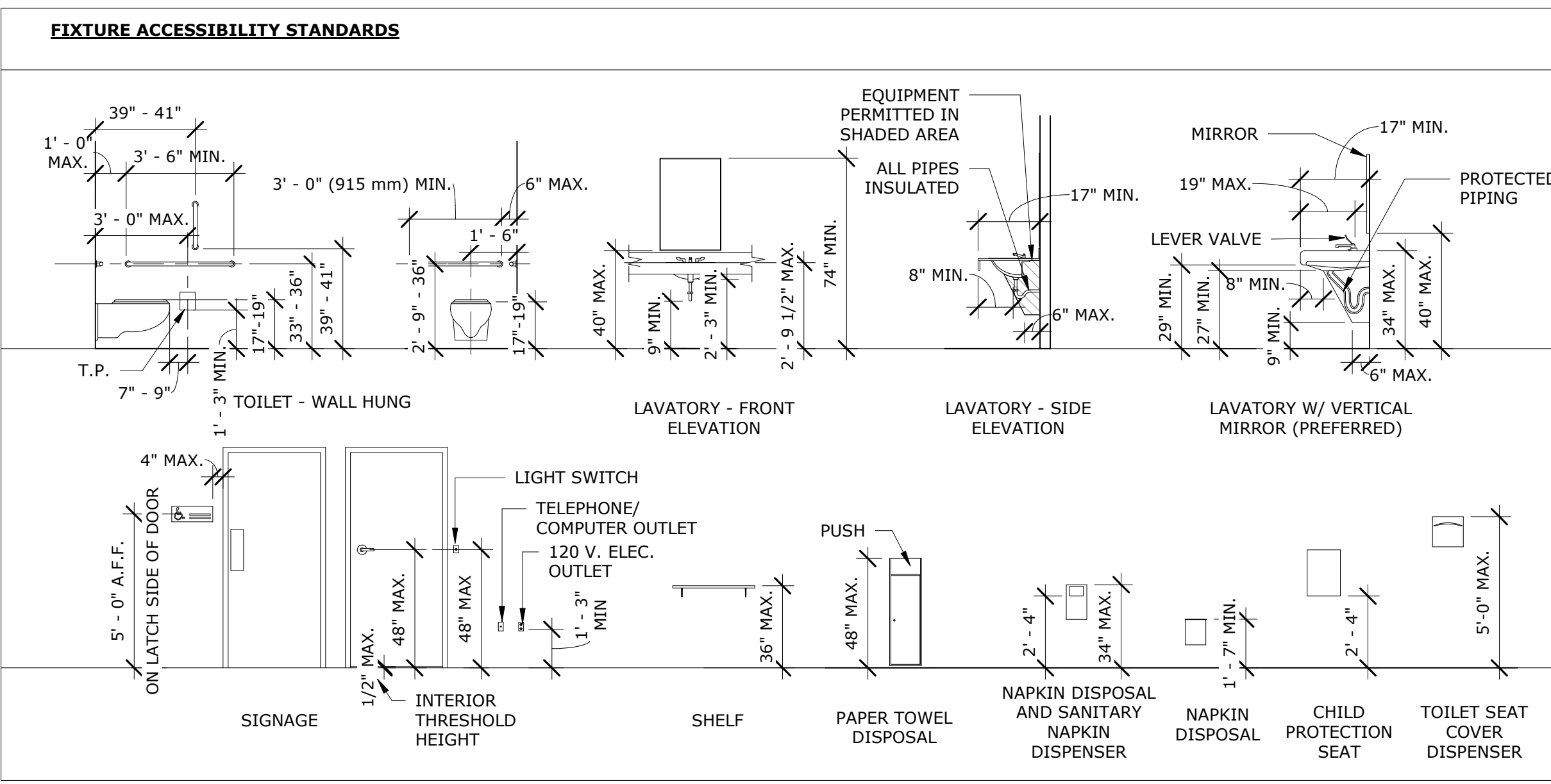
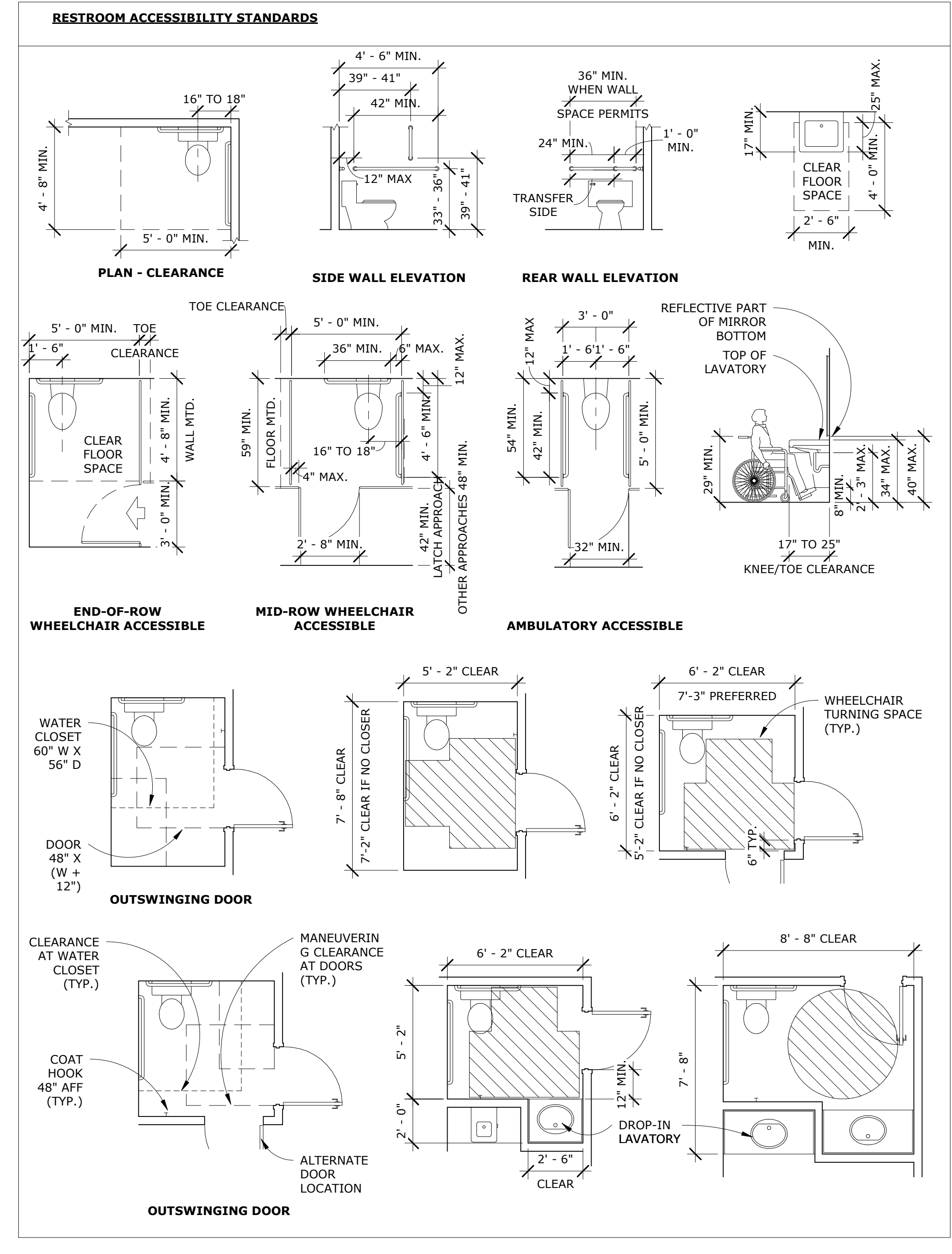
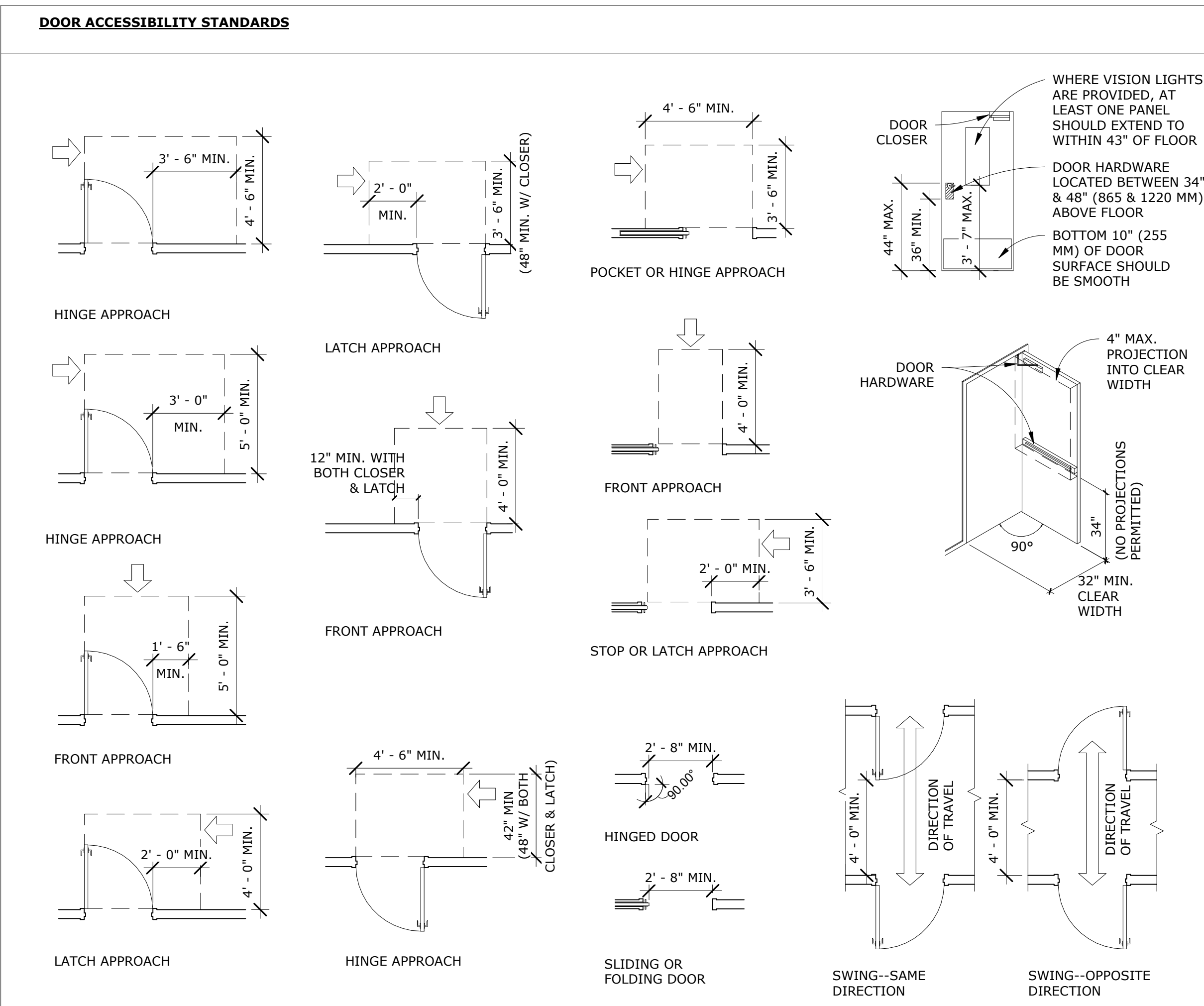
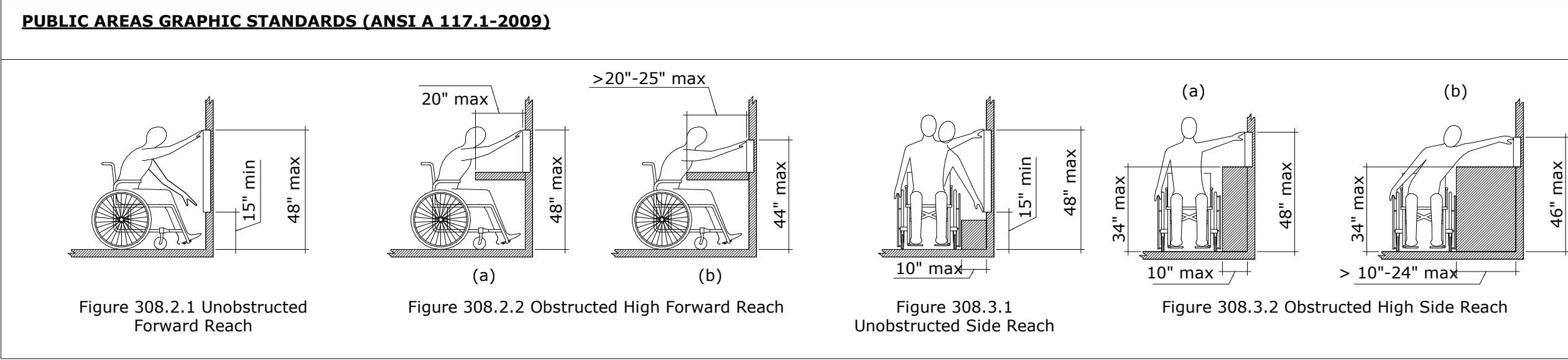
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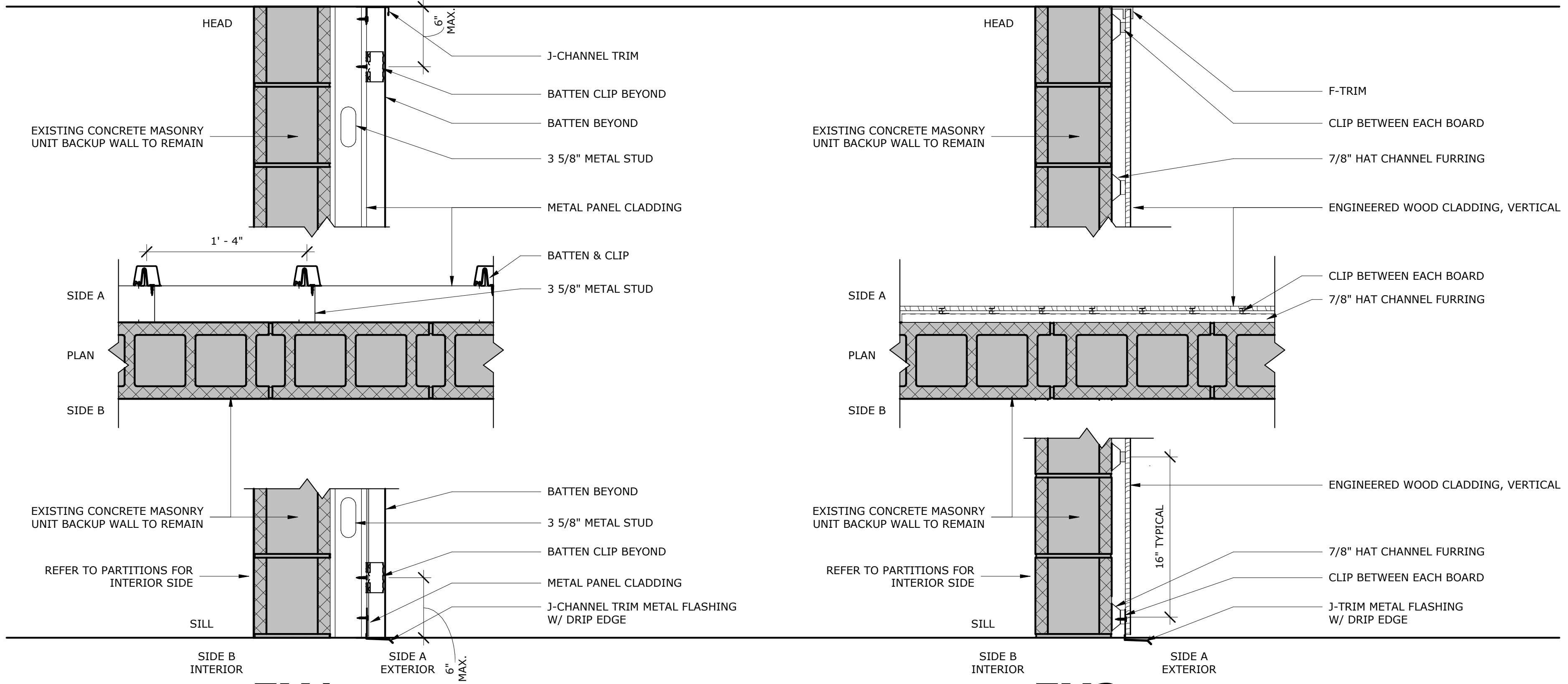
SHEET TITLE
ACCESSIBILITY STANDARDS

DRAWING NO.
A0.01



PLOT CREATED: 12/14/2023 2:46:48 PM

PARTITIONS: EXTERIOR



TYPE	OVERALL WIDTH	FRAMING SIZE	SIDE A TYPE THCK	SIDE B TYPE THCK	INSUL	FIRE RATING	FIRE TEST	COMMENTS
EX1	4 3/8" & EXISTING	3 5/8"	METAL 3/4" + PANEL BATTEN					METAL PANEL & BATTEN SYSTEM BY ATAS: MONARCH BATTEN

TYPE	OVERALL WIDTH	FRAMING SIZE	SIDE A TYPE THCK	SIDE B TYPE THCK	INSUL	FIRE RATING	FIRE TEST	COMMENTS
EX1	1 7/8" & EXISTING	7/8"	ENG WOOD + CLIP	1/2" + 1/2"				ENGINEERED WOOD CLADDING SYSTEM BY NEWTECHWOOD: ALL WEATHER

TYPICAL ASSEMBLY NOTES:

- EXTERIOR ASSEMBLIES ARE SHOWN DIAGRAMMATICALLY ONLY. SEE PLANS, SECTIONS AND DETAILS FOR ADDITIONAL REQUIREMENTS. COORDINATE VARYING CONDITIONS REQUIRED BY THE DOCUMENTS.
- PROVIDE WALL BOARD AT INTERIOR FACE OF ALL EXTERIOR WALL FRAMING EXPOSED TO VIEW OR WHERE REQUIRED FOR ACOUSTICAL OR FIRE RESISTIVE REQUIREMENTS. WALL BOARD SHALL CONFORM TO THE REQUIREMENTS FOR INTERIOR PARTITIONS IN ADJOINING ROOM / SPACE. SINGLE LAYER IS DEPICTED FOR CLARITY ONLY. MULTIPLE LAYERS MAY BE REQUIRED.
- ROOF ASSEMBLIES ARE SHOWN FLAT. SEE ROOF PLAN FOR ROOF SLOPES.
- FIREPROOFING IS SHOWN DIAGRAMMATICALLY THROUGHOUT DRAWINGS. SEE CODE DRAWINGS FOR FIREPROOFING REQUIREMENTS.
- COLD-FORMED METAL FRAMING IS INDICATED DIAGRAMMATICALLY IN THE DOCUMENTS. IT IS NOT THE INTENT OF THE DOCUMENTS TO DELINEATE EVERY CONDITION/SIZE REQUIRED. PROVIDE CONFIGURATIONS OF FRAMING AS REQUIRED BY THE DOCUMENTS TO MAINTAIN THE SHAPE AND PROFILE OF SURFACES / MATERIALS REQUIRED. COORDINATE WITH THE BUILDING STRUCTURE TO SUPPORT THE REQUIRED LOADS.
- MASONRY COURSING AND REINFORCING ARE SHOWN DIAGRAMMATICALLY IN THE DOCUMENTS. IT IS NOT THE INTENT OF THE DOCUMENTS TO DELINEATE EVERY CONDITION/ACCESSORY REQUIRED. THE CONTRACTOR SHALL PROVIDE COURSING, GROUTING, ANCHORAGE, REINFORCING AND ACCESSORIES AS REQUIRED BY THE DOCUMENTS. SEE STRUCTURAL DOCUMENTS FOR REINFORCING REQUIREMENTS.
- THERMAL INSULATION, VAPOR / MOISTURE / WATER BARRIERS / MEMBRANES ARE TYPICALLY SHOWN DIAGRAMMATICALLY IN THE DOCUMENTS. IT IS NOT THE INTENT OF THE DOCUMENTS TO DELINEATE EVERY CONDITION/MATERIAL REQUIRED. IT IS THE INTENT OF THE DOCUMENTS THAT CONTINUOUS THERMAL AND MOISTURE PROTECTION BE PROVIDED. THE CONTRACTOR SHALL PROVIDE TRANSITIONS, TERMINATIONS, MASTICS, SEALANTS, ADHESIVES, ACCESSORY MATERIALS, AND THE LIKE FOR CONTINUOUS THERMAL AND MOISTURE PROTECTION AS REQUIRED BY THE DOCUMENTS, BUILDING CODE, AND MANUFACTURER.
- WHERE FRAMING CONNECTS TO FIREPROOFED STRUCTURAL STEEL / DECK, PROVIDE Z-FURRING FASTENED TO STRUCTURAL STEEL / DECK PRIOR TO APPLICATION OF FIREPROOFING. Z-FURRING TO MATCH FIREPROOFING THICKNESS UNLESS NOTED OTHERWISE. CONFIGURE Z-FURRING AS REQUIRED FOR PROPER SUPPORT / ATTACHMENT OF FRAMING AND/OR FINISHES. MINIMUM GAUGE AND SPACING SHALL MATCH FRAMING REQUIREMENTS FOR GWB FRAMING.
- PROVIDE LATERAL RESTRAINT CLIPS / PLATES / ANGLES AT TOP OF ALL CMU BACKUP WALL / PARTITIONS TO RESIST LATERAL FORCES. SEE STRUCTURAL DOCUMENTS FOR REQUIREMENTS.
- PROVIDE FOR STRUCTURAL FRAMING AT LIGHT GAGE FRAMING TO PREVENT AXIAL LOADING OF NON-LOAD BEARING VERTICAL FRAMING. COORDINATE WITH STRUCTURAL REQUIREMENTS.
- REFER TO DETAILS FOR ADDITIONAL REQUIREMENTS.
- MAINTAIN AIR BARRIER / WEATHER RESISTANT BARRIER / VAPOR BARRIER / MEMBRANE INTEGRITY WHEN INSTALLING CLADDING AND CLADDING ANCHORS.
- DO NOT PENETRATE / ANCHOR INTO FLASHING.
- SUBFRAMING SYSTEMS SHALL NOT SPAN CONTROL, EXPANSION OR DIFFERENTIAL MOVEMENT JOINTS.

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 WARWICK, RI 02886

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 CRANSTON, RI 02910

PROJECT NO. 23111

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NO.	DESCRIPTION	DATE

DEVELOPMENT PLAN REVIEW

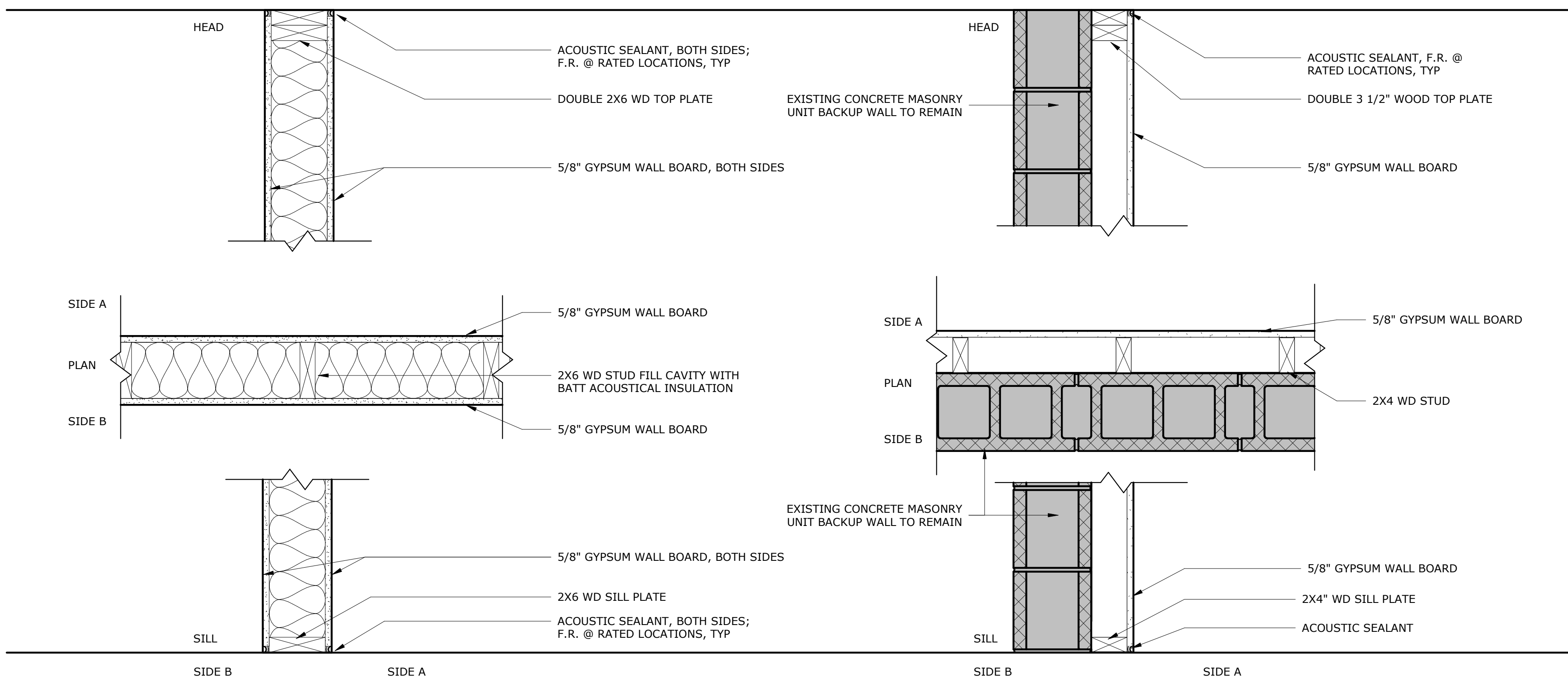
ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
PARTITIONS & ASSEMBLIES

DRAWING NO.

A0.10

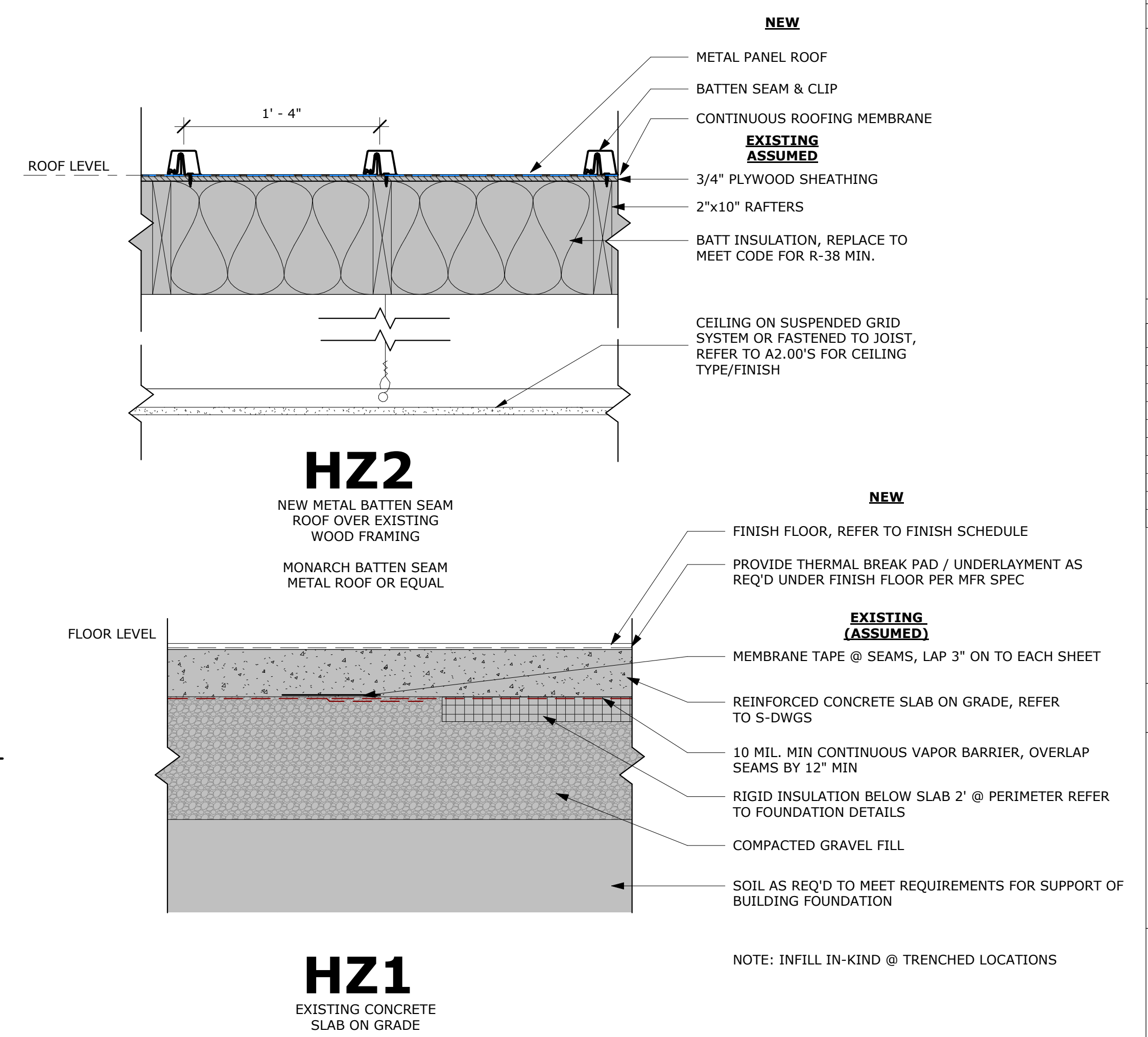
PARTITIONS: INTERIOR



TYPE	OVERALL WIDTH	FRAMING SIZE	SIDE A TYPE THCK	SIDE B TYPE THCK	INSUL	FIRE RATING	FIRE TEST	COMMENTS
W6A	6 3/4"	5 1/2"	GWB 5/8"	GWB 5/8"	BATT			
W6B	6 3/4"	5 1/2"	GWB 5/8"	GWB 5/8"	BATT	1 HR	UL U314	TYPE "X" GWB
W6G	6 3/4"	5 1/2"	GWB 5/8"	GWB 5/8"	BATT	1 HR	UL U314	TYPE "X" GWB. CLARK DIETRICH BARRIER MESH - BM50, 16 GAUGE SECURITY MESH, BETWEEN EXTERIOR GWB AND STUDS.

TYPE	OVERALL WIDTH	FRAMING SIZE	SIDE A TYPE THCK	SIDE B TYPE THCK	INSUL	FIRE RATING	FIRE TEST	COMMENTS
W4D	4 1/8"	3 1/2"	GWB 5/8"	GWB 5/8"				ALONG EXTERIOR WALLS, U.N.O.

HORIZONTAL ASSEMBLIES:



HZ1
 EXISTING CONCRETE SLAB ON GRADE

NOTE: INFILL IN-KIND @ TRENCHED LOCATIONS

SITWORK INTENT

- EXISTING CURB-CUTS TO REMAIN.
- EXISTING PARKING TO BE RESTRIPEDED.
- NEW ADA PARKING SPACES TO BE PROVIDED BY ENTRY.
- NEW FENCED IN DELIVERY AREA.
- MINOR LANDSCAPE IMPROVEMENTS.
- NEW DUMPSTER ENCLOSURE.
- EXISTING UTILITIES TO REMAIN.

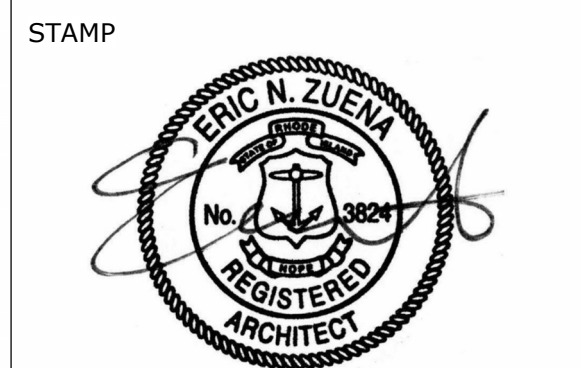
PARKING SUMMARY

GROSS BUILDING AREA: 3,375 GSF
PARKING PER ZONING:
1-SPACE PER 300 GSF
3,375 GSF / 300 GSF = **12-SPACES**

PARKING PROVIDED: **23-SPACES**
ADA PARKING PROVIDED: 2-SPACES
STANDARD: 1-SPACE
VAN: 1-SPACE

CLIENT
ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT **ZDS**
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699
1405 RHODE ISLAND AVENUE NW
WASHINGTON, DC 20005
+1.202.660.0555



CONSULTANT

PROJECT NAME
RECREATIONAL CANNABIS DISPENSARY

1112 RESERVOIR AVE
CRANSTON, RI 02910

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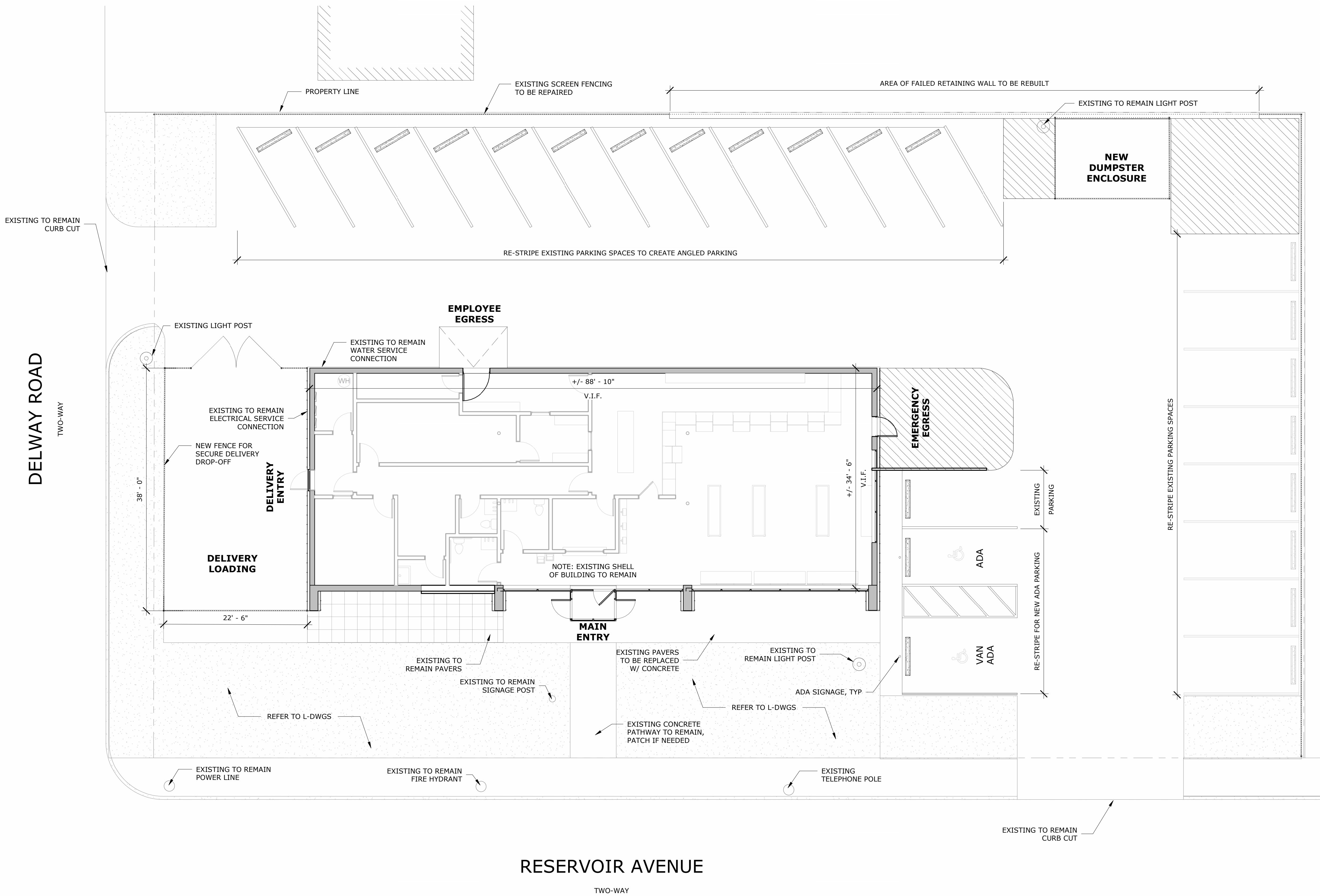
DEVELOPMENT PLAN REVIEW

ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
ARCHITECTURAL SITE PLAN

DRAWING NO.

A1.00

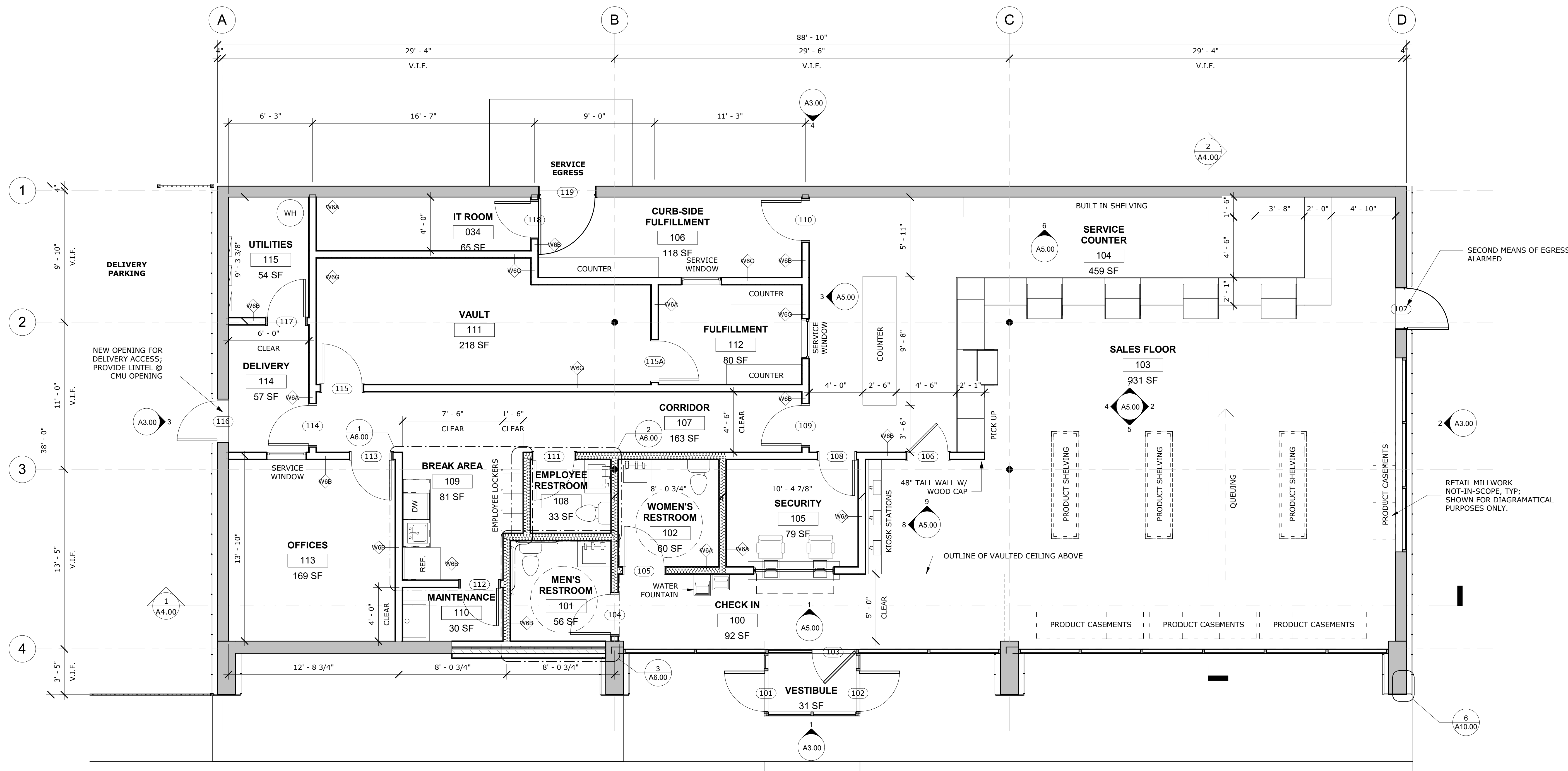
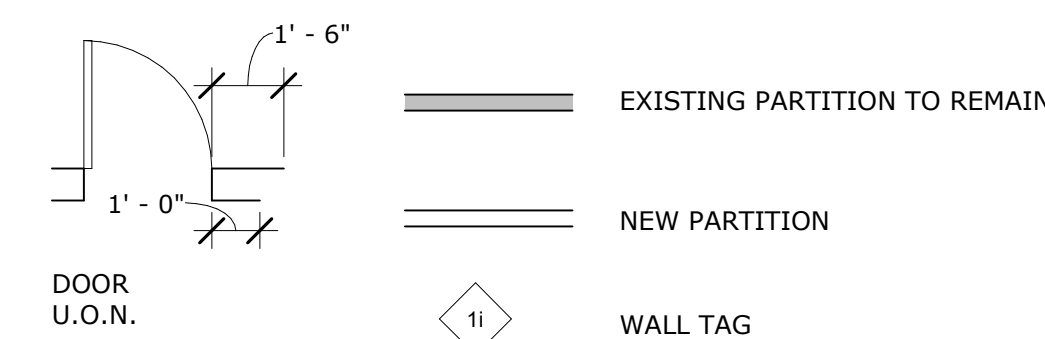


1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

PLAN NOTES:

- ANY CONFLICT BETWEEN SITE CONDITIONS & DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- SEE WALL TYPE PAGE FOR WALL CONSTRUCTION
- ALL DOOR FRAMES TO BE 4" FROM NEAREST PERPENDICULAR PARTITION U.O.N.
- REVIEW LAYOUTS FOR PARTITIONS IN-FIELD W/ ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- ALL EXPOSED STEEL TO BE AESS - GRADE 1 (*ZDS NOTE* CONFIRM LEVEL OF FINISH IS APPROPRIATE FOR THIS PROJECT. REVIEW WITH S-ENGINEER RE: TOLERANCES/GAPS & COMMERCIAL BLASTING; IF PRIME AND PAINT IS REQ'D*)
- REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC.
- CONTRACTOR IS RESPONSIBLE FOR CARRYING FURRING TO ACCOMMODATE ELECTRICAL JUNCTION BOXES AT EXISTING-TO-REMAIN MASONRY WALLS.
- ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN FIRE & ACOUSTICAL RATING.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING AT ALL AREAS OF NEW WALL-MOUNTED FIXTURES/FURNISHINGS/EQUIPMENT, INCLUDING BUT NOT LIMITED TO CABINETS, MILLWORK & PLUMBING FIXTURES.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS PANELS IN HARD CEILINGS FOR MECHANICAL EQUIPMENT WHEREVER VALVES, CONTROLS, OR ACCESS IS REQUIRED. PAINT PANELS TO MATCH WALL/CEILING (TYP).
- PATCH & PREP ALL WALLS, FLOORS & ADJACENT CONSTRUCTION AFFECTED BY DEMOLITION FOR NEW WORK.
- EXISTING-TO-REMAIN PARTITIONS SHALL BE PROVIDED NEW 5/8" GWB (TYPE-X FOR 1-HR LOCATIONS AS INDICATED ON CODE REVIEW SHEETS) TO BOTH SIDES OF EXISTING STUDS. CONTRACTOR SHALL SISTER EXISTING STUDS W/ NEW FRAMING EVERY 32" +/- TO ALLOW FOR PROPER ALIGNMENT TO ATTACH NEW GWB TO. REFER TO FRAMING DRAWING(S) FOR NOTES, IF APPLICABLE.
- DIMENSIONS
 - CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN-FIELD.
 - DRAWINGS ARE NOT TO BE SCALED; VERIFY ANY MISSING OR CONFLICTING DRAWN DIMENSIONS W/ ARCHITECT PRIOR TO CONSTRUCTION.
 - NOTIFY ARCHITECT OF CONDITIONS WHERE "CLEAR" OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/AISLE WIDTH CANNOT MEET MINIMUM REQUIREMENTS.
 - MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS "ABOVE FINISH FLOOR" ARE AT THE SAME ELEVATION.
 - ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE TO C/L OF FIXTURE, U.O.N. WHERE ITEMS ARE IN LINE, CENTERLINE OF ITEMS OR GROUPS OF ITEMS ARE TO ALIGN U.O.N.
- MEP+FP WORK TO BE DESIGN/BUILD: (*ZDS NOTE - ONLY KEEP THIS IF THE MEP SCOPE IS DESIGN BUILD - MODIFY OTHERWISE)
 - MECHANICAL - SEE OWNER FOR DIRECTION, CONTRACTOR TO INSTALL.
 - ELECTRICAL - REFER TO PLANS/RCPs FOR LIGHTING, SWITCH & OUTLET LOCATIONS. FINAL LOCATIONS TO BE COORDINATED & APPROVED BY OWNER/ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL PRODUCTS/LAYOUTS FOR REVIEW & APPROVAL.
 - FIRE ALARM - PER CODE, THE BUILDING SHALL BE PROTECTED W/ AUTOMATIC FIRE DETECTION & NOTIFICATION SYSTEM. CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL PRODUCTS/LAYOUTS FOR REVIEW & APPROVAL.
 - PLUMBING - REFER TO PLANS & SCOPE OF WORK FOR FIXTURES, LOCATIONS, ETC. CONTRACTOR SHALL PROVIDE INTENT OF WATER & SANITARY PIPING DRAWINGS FOR REVIEW & APPROVAL. CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL PRODUCTS FOR REVIEW & APPROVAL.
 - FIRE PROTECTION - BUILDING SHALL BE PROTECTED BY AUTOMATIC SPRINKLER SYSTEM(S). CONTRACTOR IS RESPONSIBLE FOR ANY LAYOUT MODIFICATIONS DUE TO RENOVATION AS WELL AS SEEKING APPROVAL FROM LOCAL AHJ FOR COMPLETION OF WORK.

PLAN LEGEND:



1 PROPOSED - GROUND LEVEL FLOOR PLAN
1/4" = 1'-0"

CLIENT
ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT
ZDS
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699
1405 RHODE ISLAND AVENUE NW
WASHINGTON, DC 20005
+1.202.660.0555



CONSULTANT

PROJECT NAME
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DEVELOPMENT PLAN REVIEW

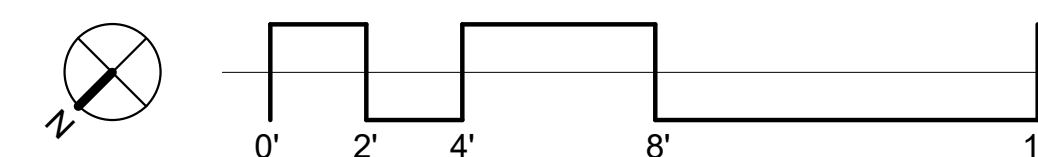
ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE

GROUND LEVEL FLOOR PLAN

DRAWING NO.

A1.01



REFLECTED CEILING LEGEND:

	CEILING HEIGHT TAG		6" RECESSED LED CAN
	WALL SCONCE		SURFACE FIXTURE
	WALL MOUNTED VANITY FIXTURE		EMERGENCY EXIT SIGNAGE
	EMERGENCY LIGHT		COMBO SMOKE & CO DETECTOR
	NEW GWB CEILING		FAN / LIGHT

- REFLECTED CEILING PLAN NOTES:**
- CODE REQUIRES 1-HR SEPARATION BETWEEN ALL FLOORS. IF 1-LAYER OF TYPE-X GWB DOES NOT EXIST UNDER FLOOR STRUCTURE, CONTRACTOR IS REQUIRED TO INSTALL 1-LAYER OF TYPE-X GWB DIRECTLY TO THE EXISTING FLOOR STRUCTURE ABOVE IN ADDITION TO THE CEILINGS INDICATED BELOW.
 - ALL CEILING HEIGHTS ARE MEASURED FROM ABOVE FINISHED FLOOR (AFF), UNLESS OTHERWISE NOTED.
 - ALL GWB CEILINGS ARE TO BE TAPED, PRIMED, AND PAINTED.
 - LIGHTING FIXTURES TO BE APPROVED BY OWNER.
 - MATCH LIGHTING TRIMS TO ADJACENT PAINT, TYP
 - MEP / FP WORK TO BE DESIGN / BUILD. FINAL LOCATIONS OF EXIT SIGNAGE, SMOKE DETECTORS, DIFFUSERS, SWITCHES, OUTLETS, ETC. TO BE COORDINATED & APPROVED BY ARCHITECT PRIOR TO COMPLETION.
 - ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE TO CENTERLINE OF FIXTURE U.O.N. WHERE ITEMS ARE IN LINE, AS INDICATED BY DASHED LINES, CENTERLINE OF ITEMS OR GROUP OF ITEMS TO ALIGN, U.O.N. NOTIFY ARCHITECT OF ANY CONFLICTS.
 - PROVIDE FIRE RETARDANT WOOD BLOCKING ABOVE CEILING AS REQUIRED FOR SPECIALTY CONSTRUCTION ITEMS, I.E. PENDANTS, CEILING MOUNTED DEVICES, ETC.
 - ALL DIFFUSERS & DEVICES IN CEILING TO BE PAINTED TO MATCH CEILING COLOR. REVIEW W/ ARCHITECT PRIOR TO COMPLETION.
 - CONFIRM MOUNTING HEIGHTS OF PENDANTS & SCONCES W/ ARCHITECT PRIOR TO COMPLETION.
 - CEILING HEIGHTS ARE +/- GWB TO BE DIRECTLY ATTACHED TO BOTTOM OF EXISTING STRAPPING BELOW JOISTS, PROVIDE NEW STRAPPING AS REQ'D.
 - PROVIDE UL RATED CAN LIGHTS AS THEY ARE LOCATED IN RATED CEILING AND ADJACENT TO INSULATION, TYP.
 - POWER AND SWITCHING PLANS TO BE DESIGN BUILD.
 - ALL LIGHTING TO BE ON ISOLATED DIMMERS UNLESS OTHERWISE NOTED.
 - EMERGENCY LIGHTING SHOW FOR GENERAL COMPLIANCE. ELECTRICAL DESIGN BUILD DWG TO IDENTIFY ALL EMERGENCY LIGHTING QUANTITY & LOCATION.

CLIENT
 ANCORA ADVISORS LLC
 187 SHADOW BROOK DRIVE
 WARWICK, RI 02886

ARCHITECT

 ZDS inc.
 2 CHARLES STREET, SUITE A1
 PROVIDENCE, RI 02904
 +1.401.680.6699
 1405 RHODE ISLAND AVENUE NW
 WASHINGTON, DC 20005
 +1.202.660.0553



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 1112 RESERVOIR AVE
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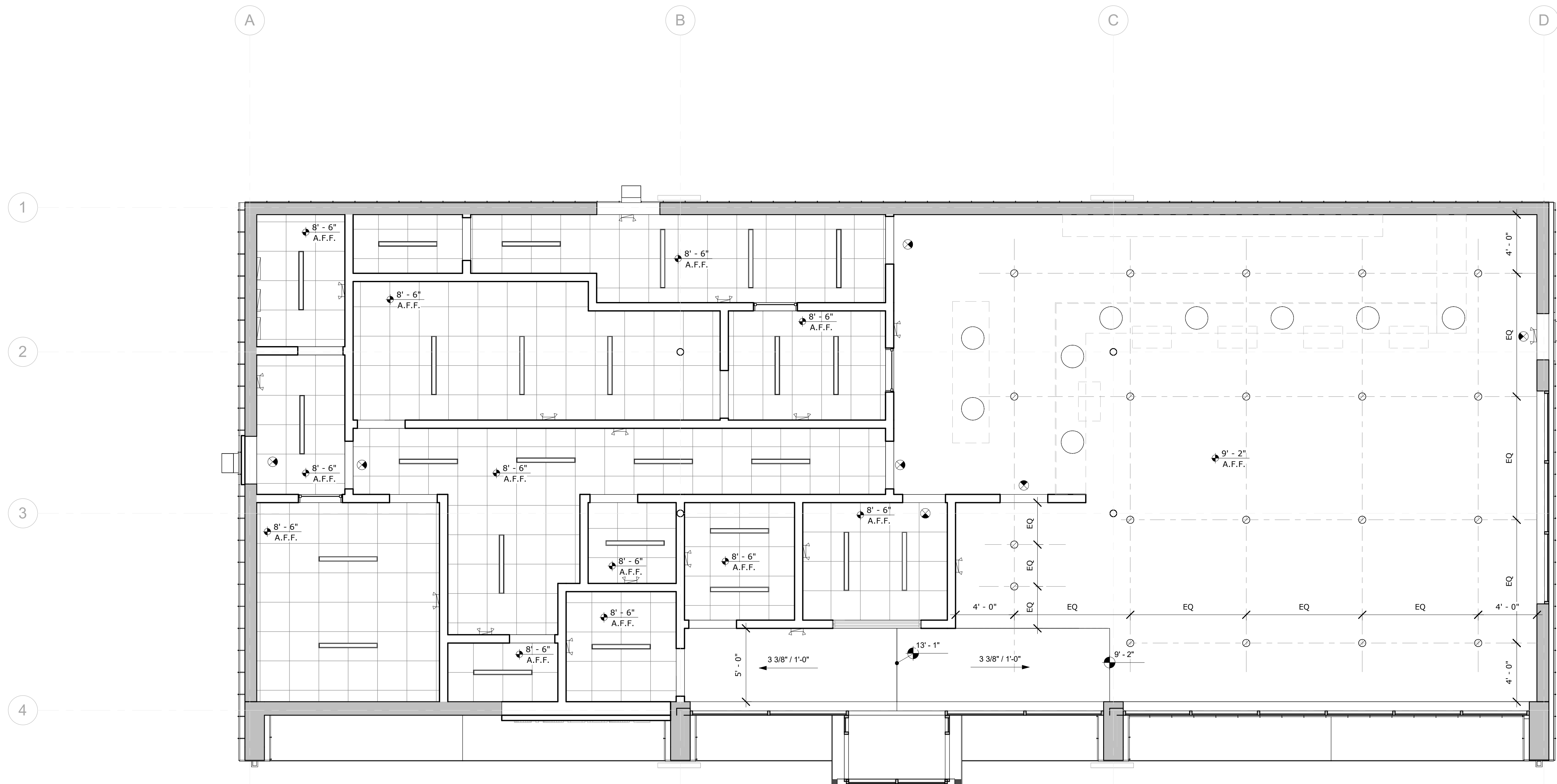
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DEVELOPMENT PLAN REVIEW

ISSUED DATE: DECEMBER 15, 2023

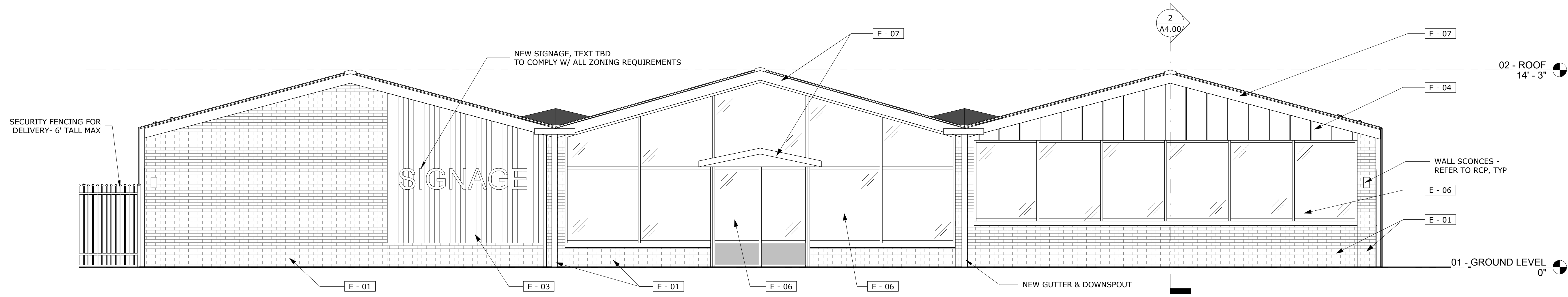
SHEET TITLE
REFLECTED CEILING PLAN

DRAWING NO.
A2.00

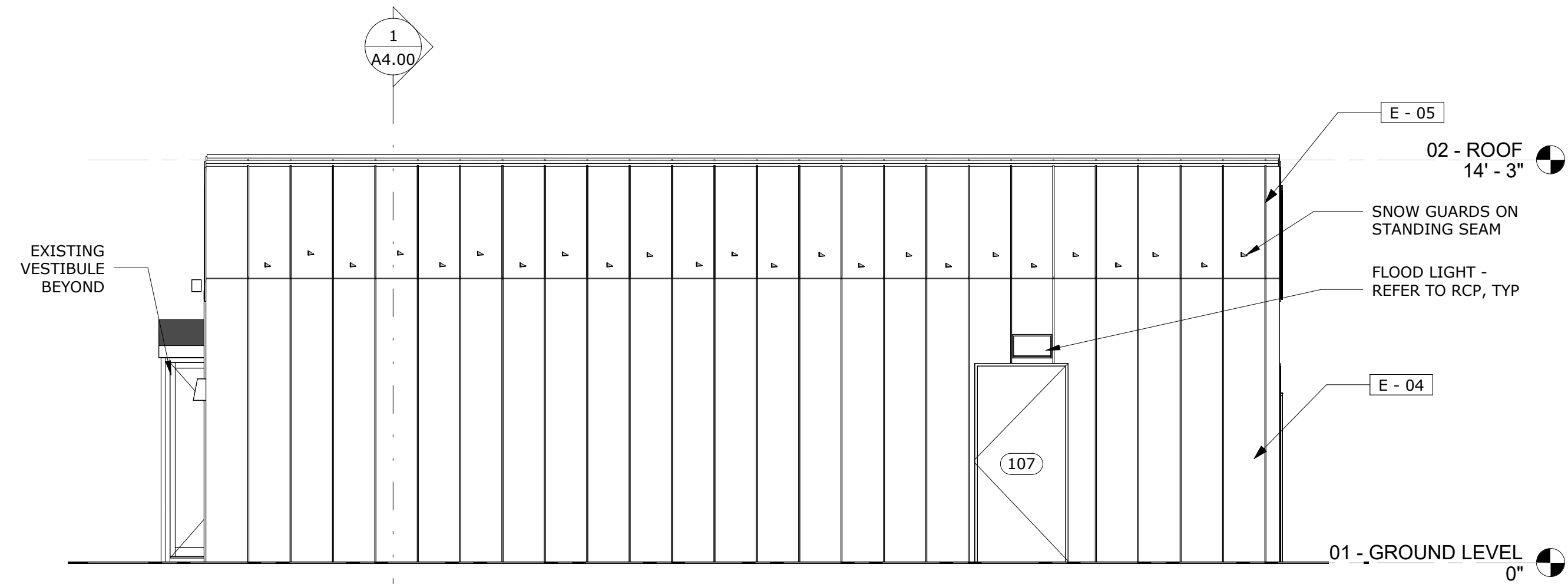


1 GROUND LEVEL REFLECT CEILING PLAN
 1/4" = 1'-0"

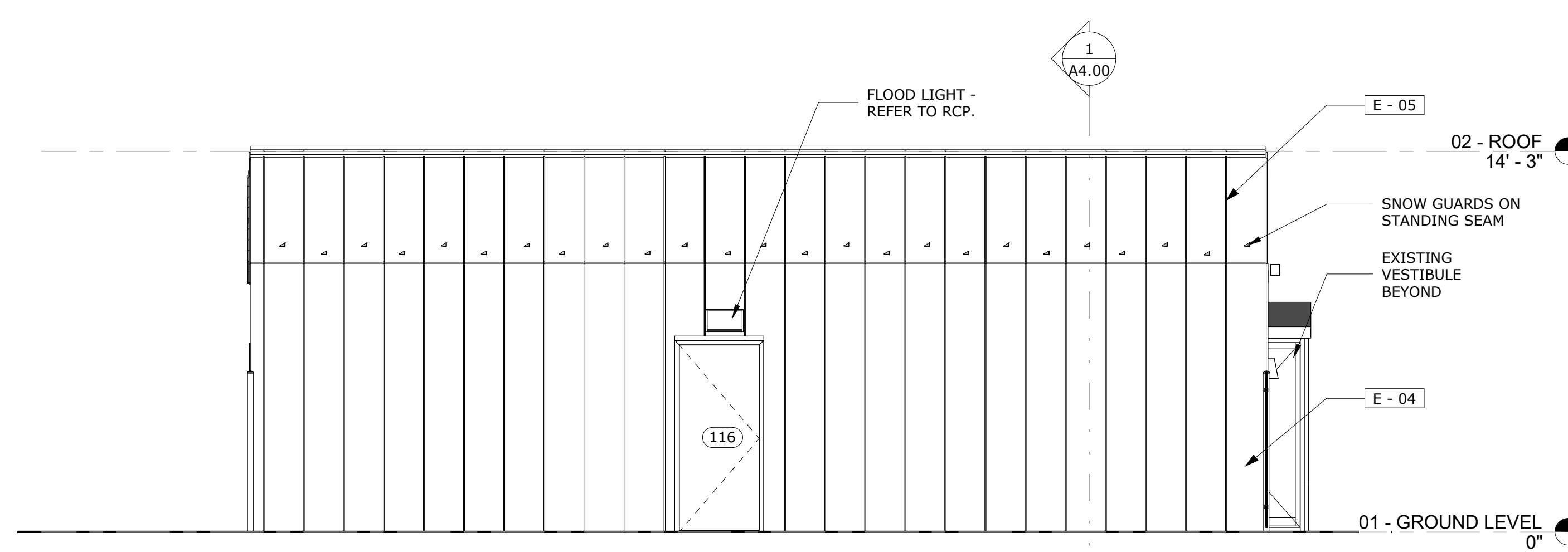
EXTERIOR MATERIAL SCHEDULE:		
MARK	MATERIAL	COLOR/DESCRIPTION
E1	EXISTING BRICK, PAINTED	WHITE
E2	EXISTING CMU, PAINTED	WHITE
E3	ENGINEERED WOOD CLADDING	COLOR: TBD
E4	METAL PANEL CLADDING	BLACK
E5	METAL PANEL ROOFING	BLACK
E6	FROSTED GLASS FILM	TRANSPARENCY RATIO TO MEET ZONING REQUIREMENTS
E7	TRIM BOARD, PAINTED	BLACK



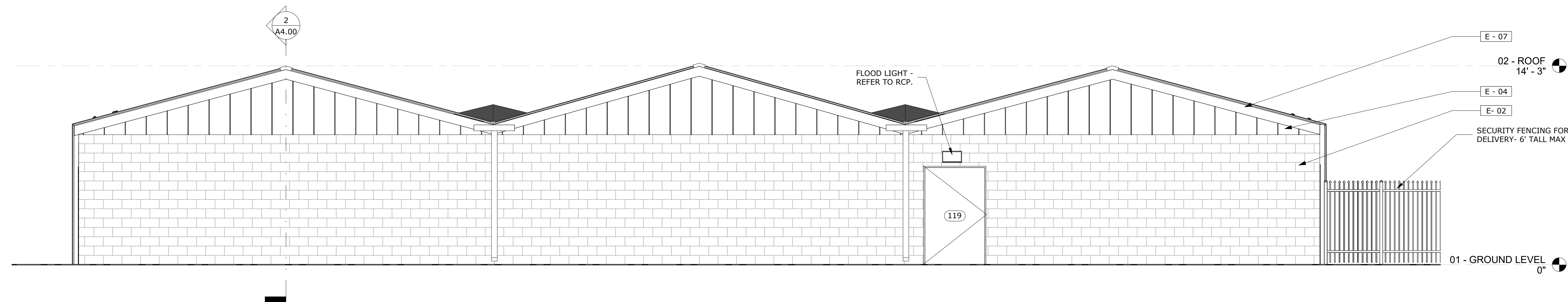
1 PROPOSED - WEST ELEVATION (RESERVOIR AVE)
1/4" = 1'-0"



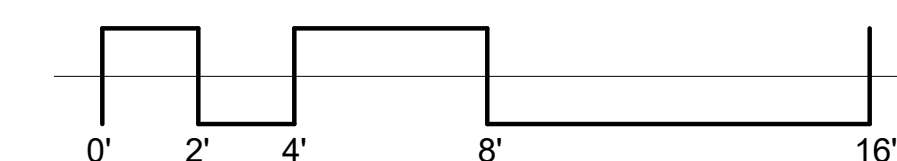
2 PROPOSED - SOUTH ELEVATION
1/4" = 1'-0"



3 PROPOSED - NORTH ELEVATION (DELWAY ROAD)
1/4" = 1'-0"



4 PROPOSED - EAST ELEVATION
1/4" = 1'-0"



CLIENT
ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT
ZDS
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
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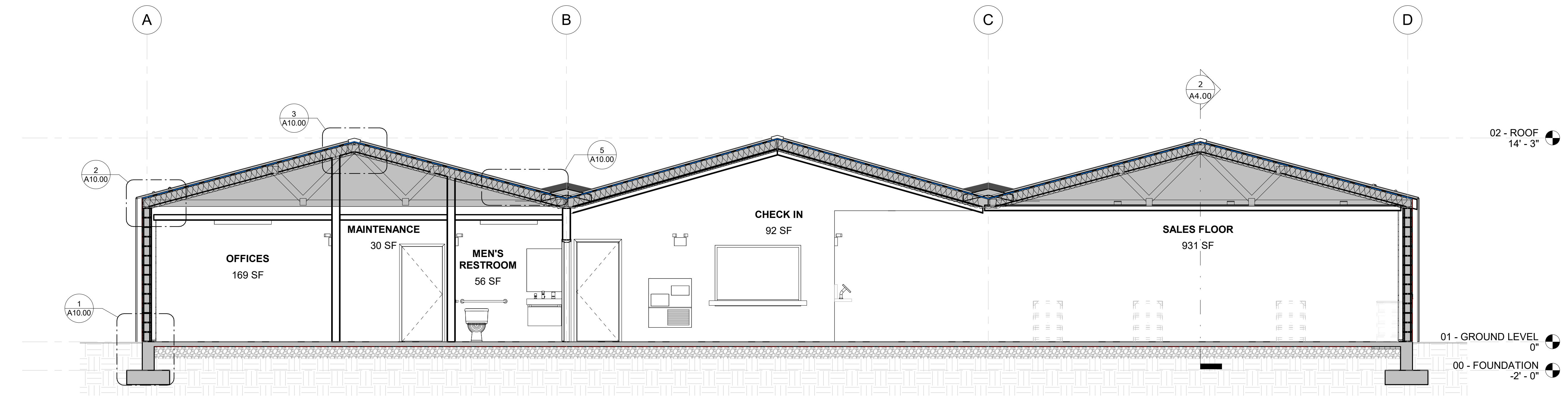
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SHEET TITLE

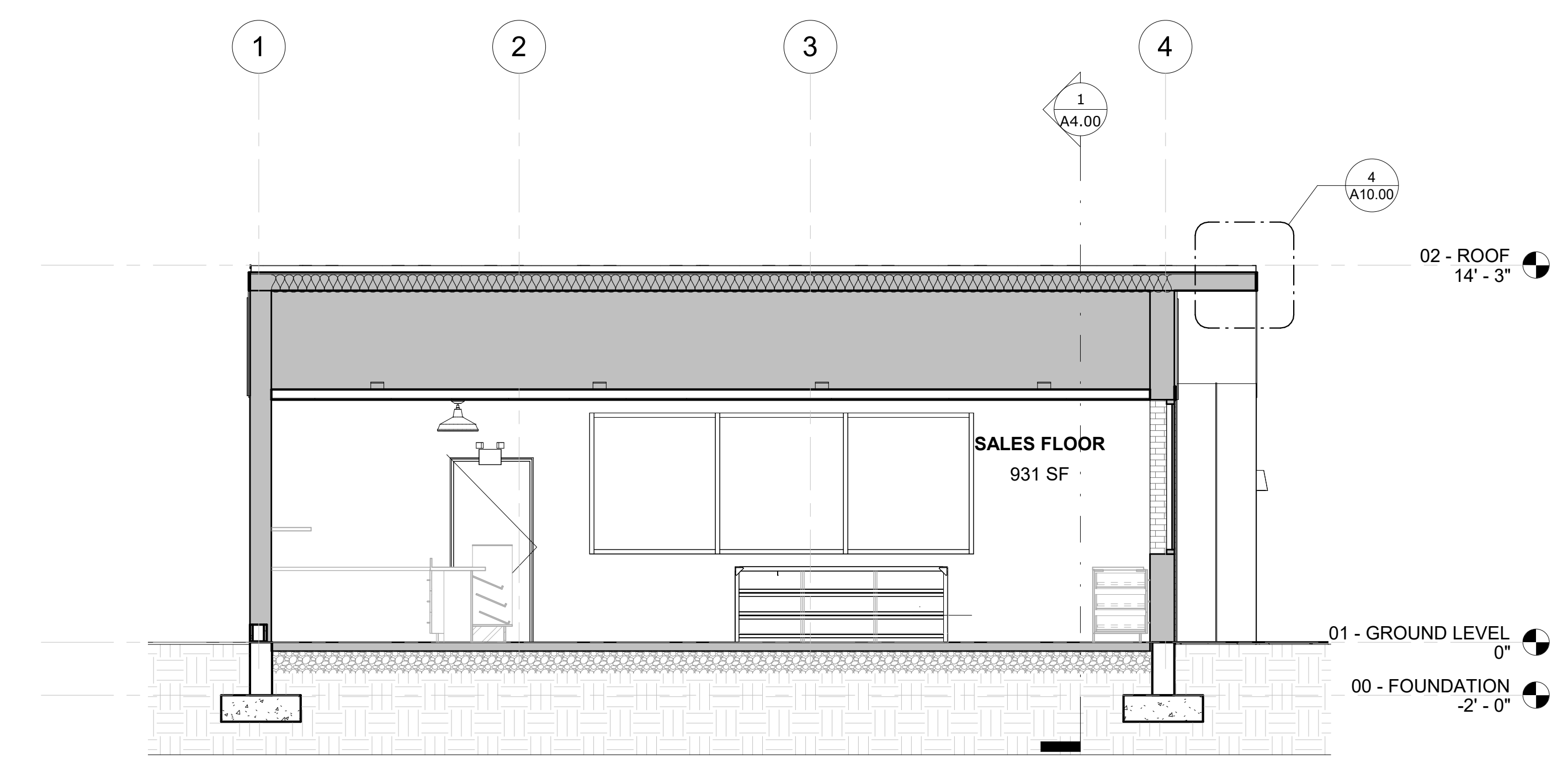
EXTERIOR ELEVATIONS

DRAWING NO.

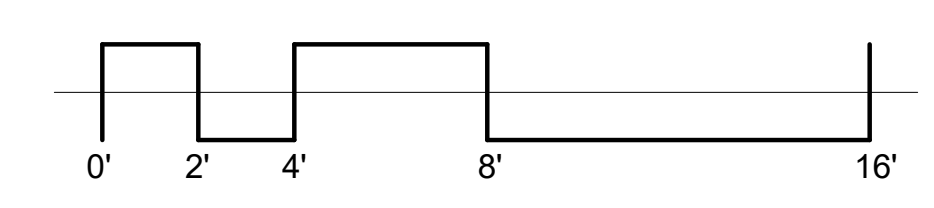
A3.00



1 BUILDING CROSS SECTION
1/4" = 1'-0"



2 BUILDING LONGITUDINAL SECTION
1/4" = 1'-0"



CLIENT
ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT **ZDS**
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699
1405 RHODE ISLAND AVENUE NW
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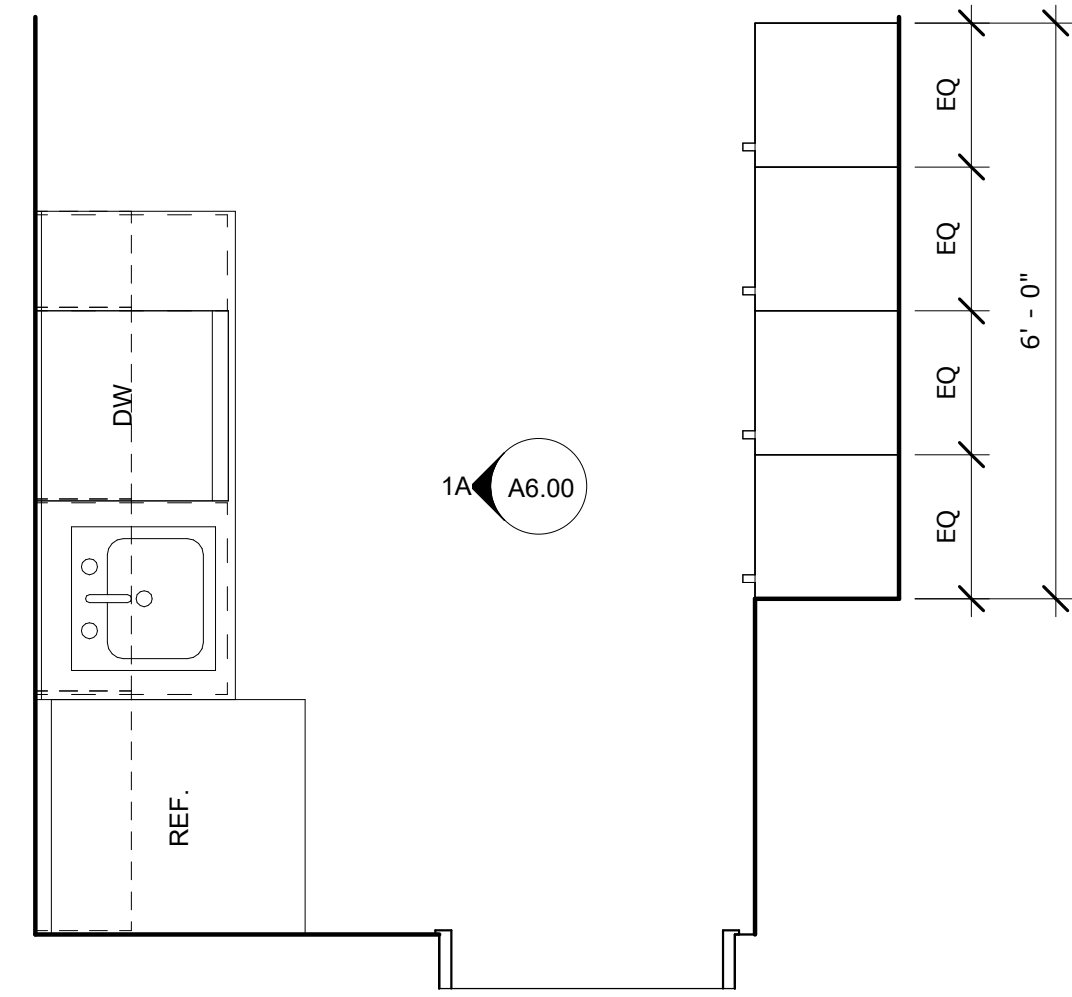
NO.	DESCRIPTION	DATE

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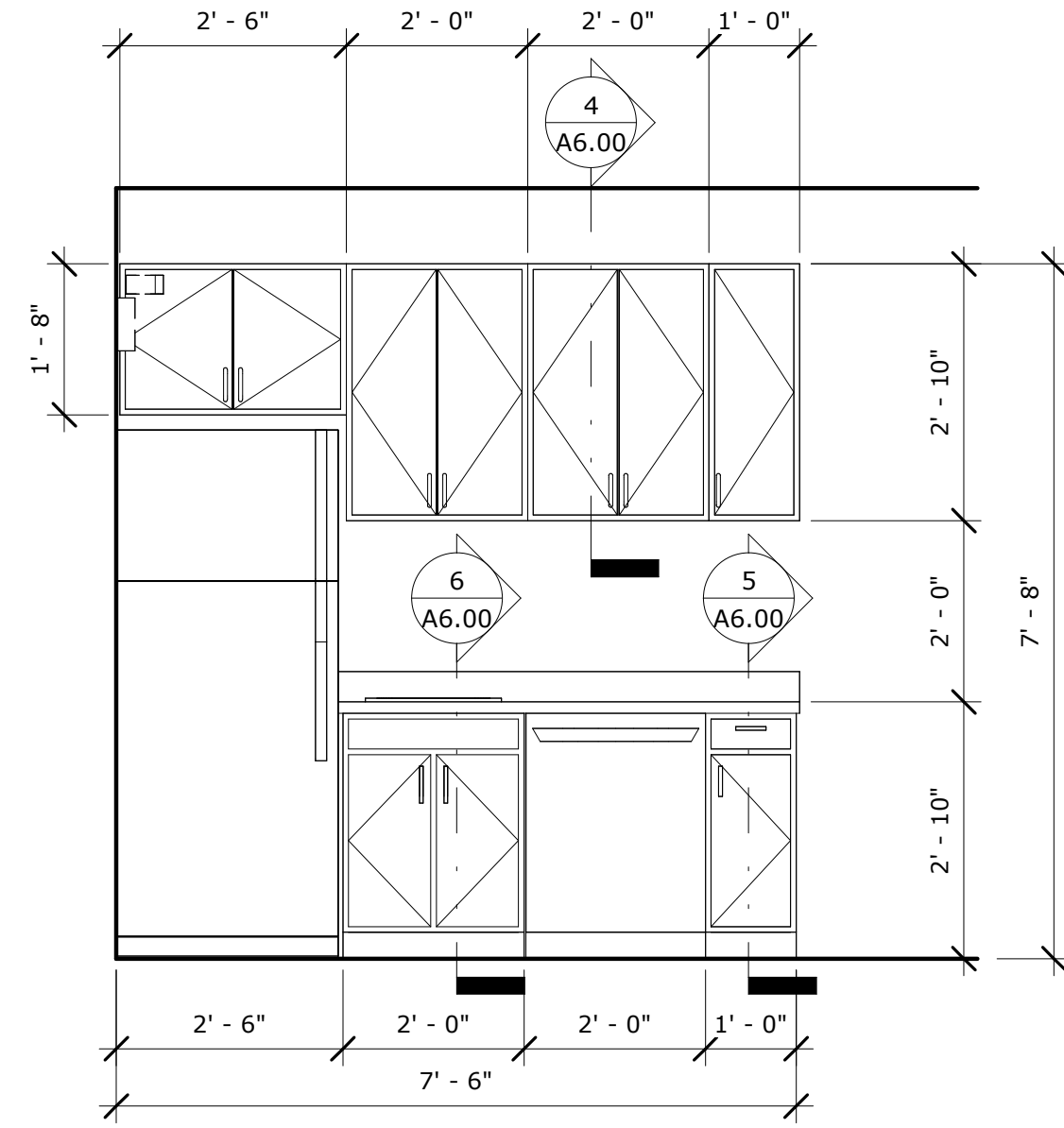
ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
BUILDING SECTIONS

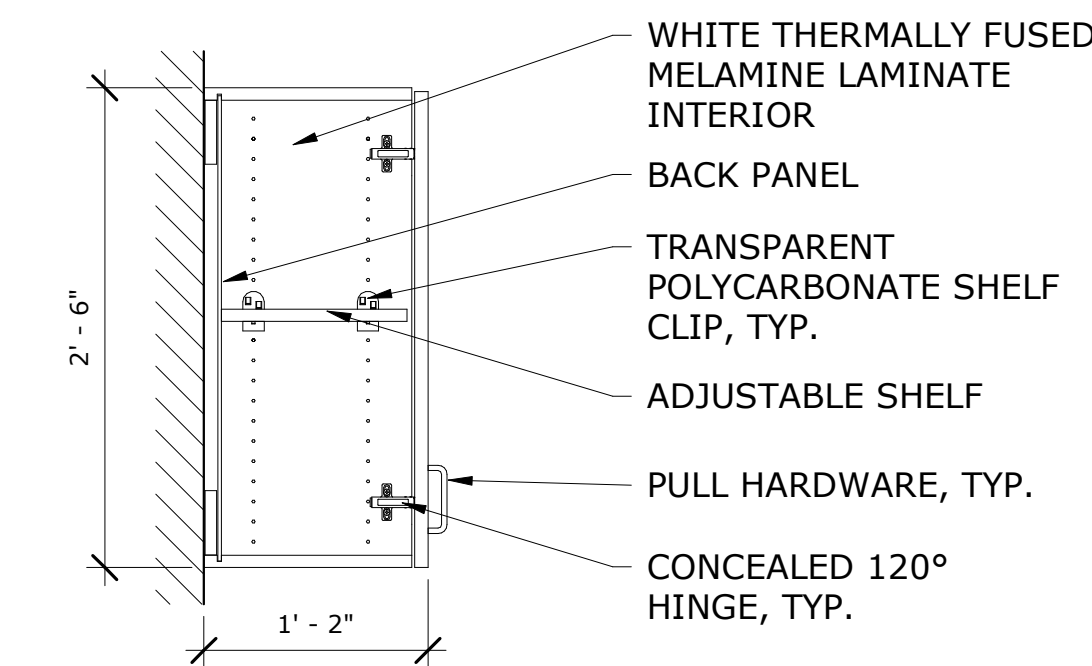
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A4.00



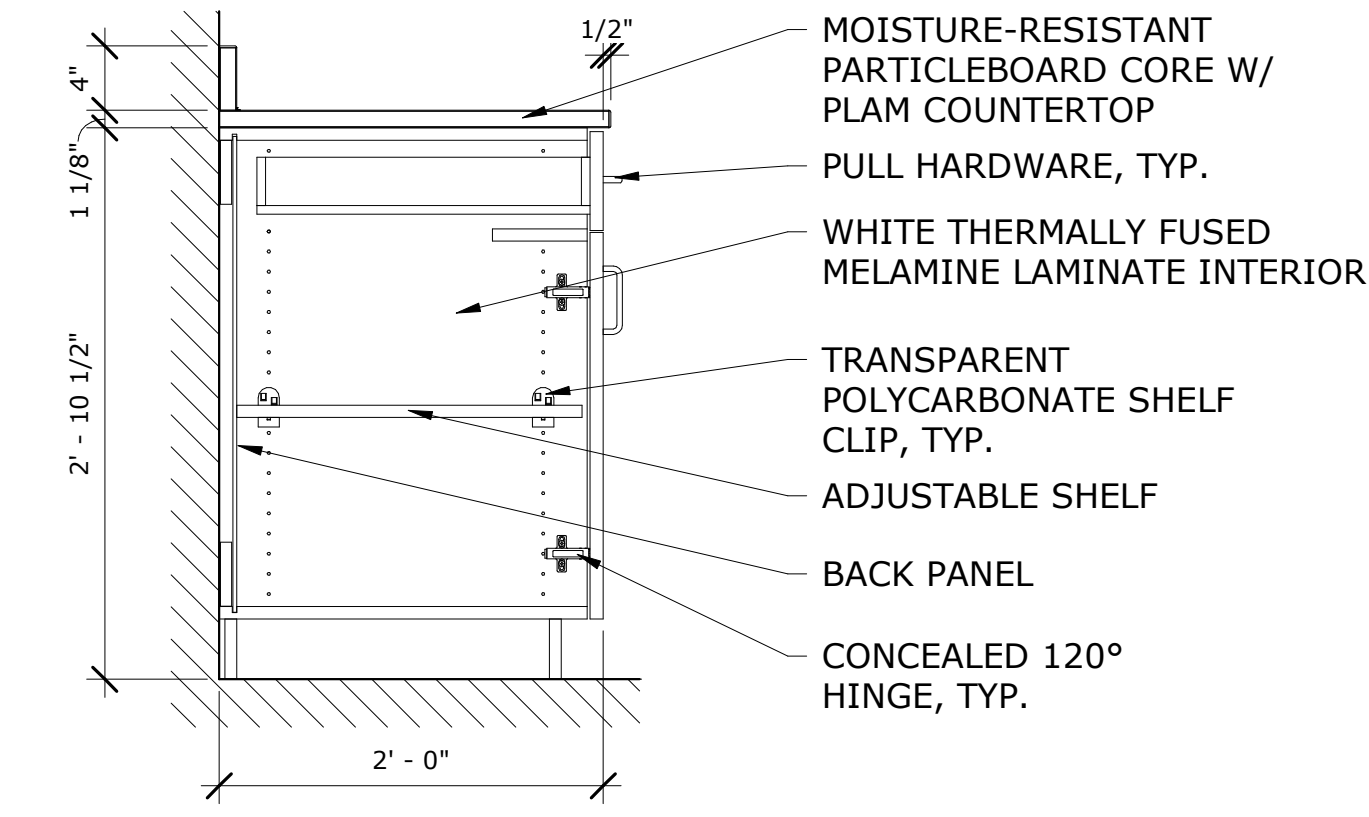
1 ENLARGED PLAN - BREAKROOM
1/2" = 1'-0"



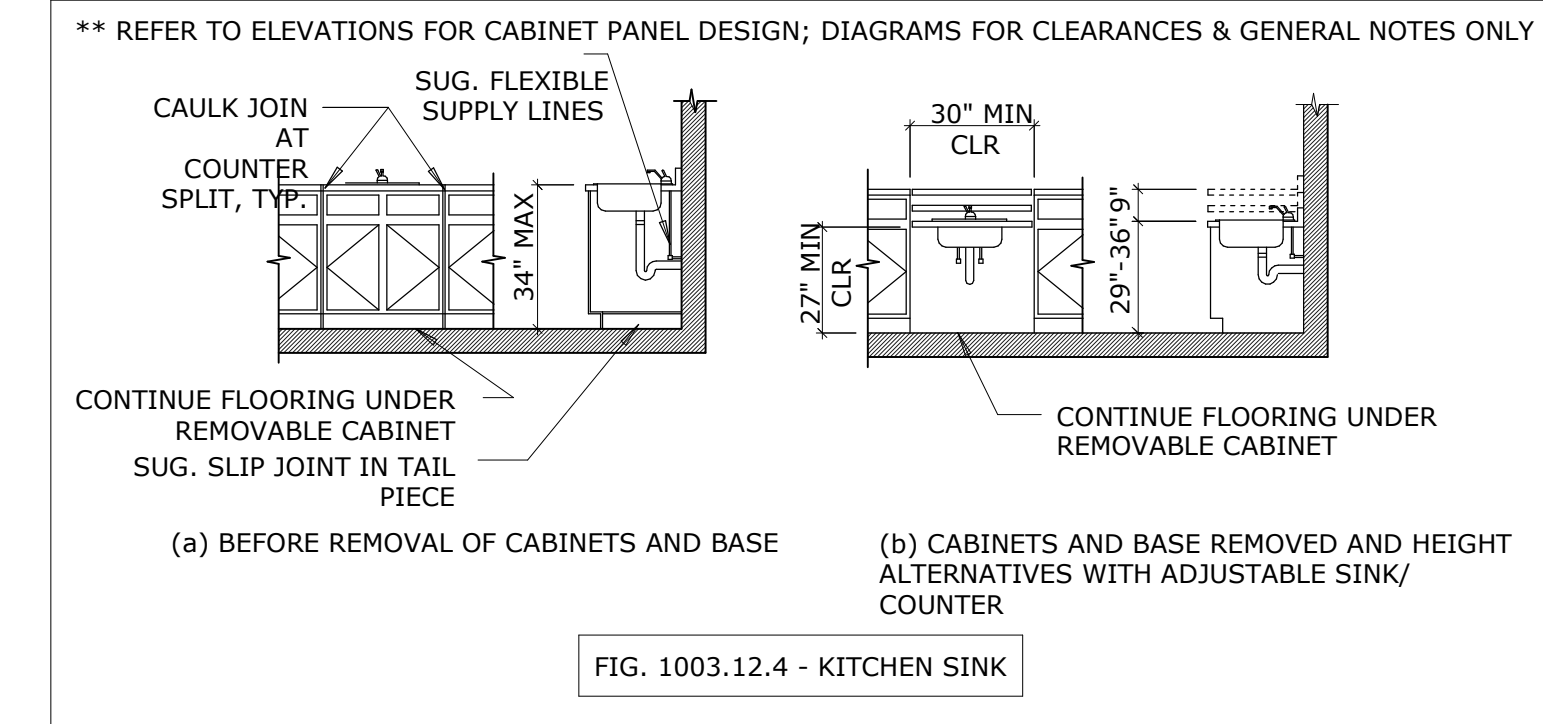
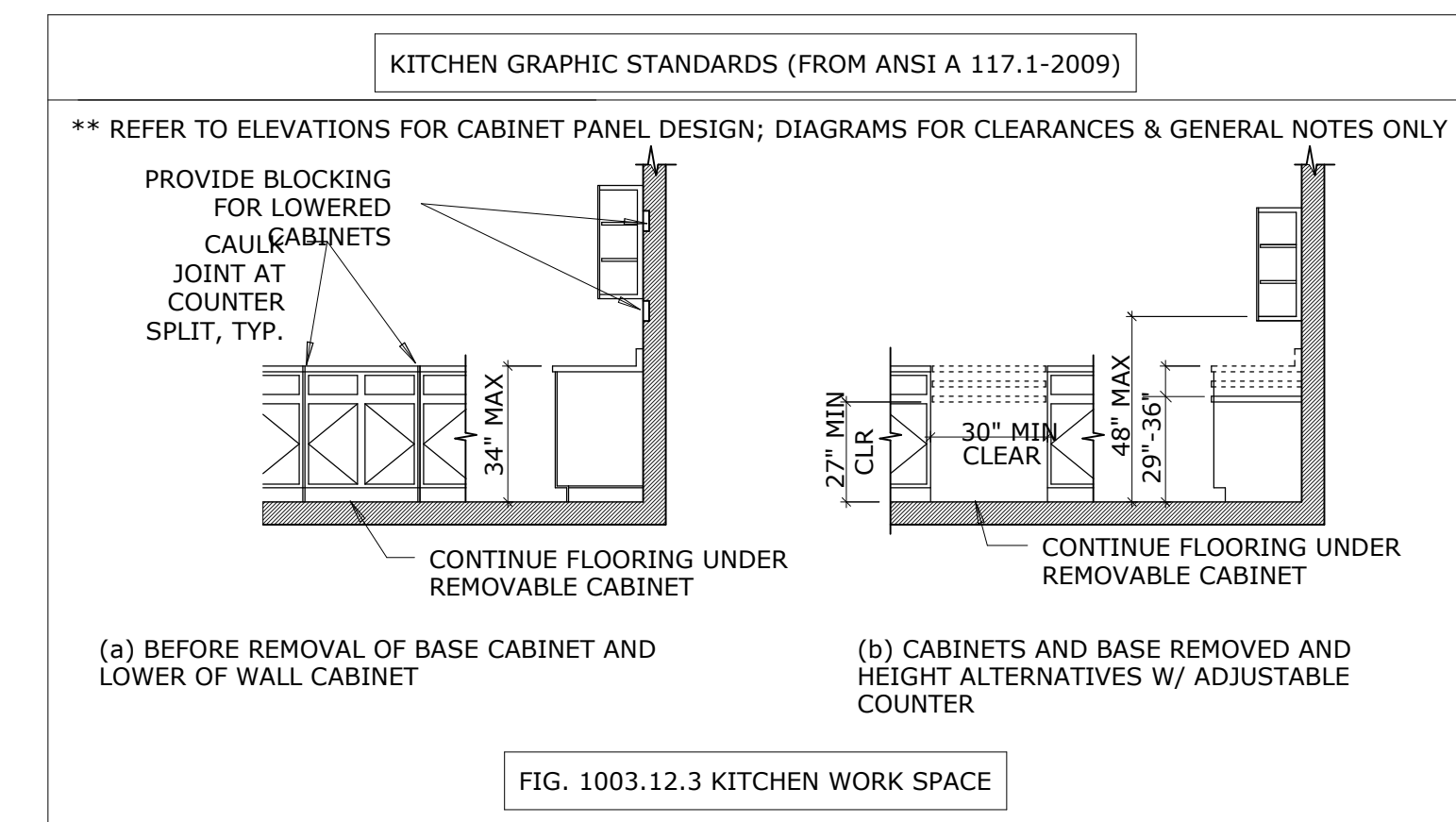
1A KITCHENETTE ELEVATION
1/2" = 1'-0"



4 MILLWORK DETAIL - WALL CABINET
1" = 1'-0"



5 MILLWORK DETAIL - DOOR DRAWER COMBO
1" = 1'-0"



TYPICAL FINISH NOTES:

- G.C. TO SUBMIT SAMPLES OF ALL LISTED MATERIALS FOR APPROVAL PRIOR TO ORDERING.

TYPICAL KITCHEN FINISHES:

TYPICAL KITCHEN FINISHES:

- LOWER & UPPER CABINETS - (WD-01) WOOD VENEER TO MATCH ARCHITECT CONTROL SAMPLE
 - ALL WOOD GRAIN TO BE QUARTER OR RIFT CUT, VERTICAL GRAIN
- COUNTERS & FULL BACKSPLASH - (SS-01) AT 3/4" TO WRAP UP ENTIRE BACKSPLASH AT ALL KITCHEN WALLS, VERIFY IN FILED
- HARDWARE: PROVIDE INTEGRATED CABINET PULL IN (WD-01) FINISH TO MATCH CABINETS
 - AT ALL paneled HARDWARE PROVIDE SATIN NICKEL LADDER PULL TO MATCH (H-02), OR APPROVED EQUAL

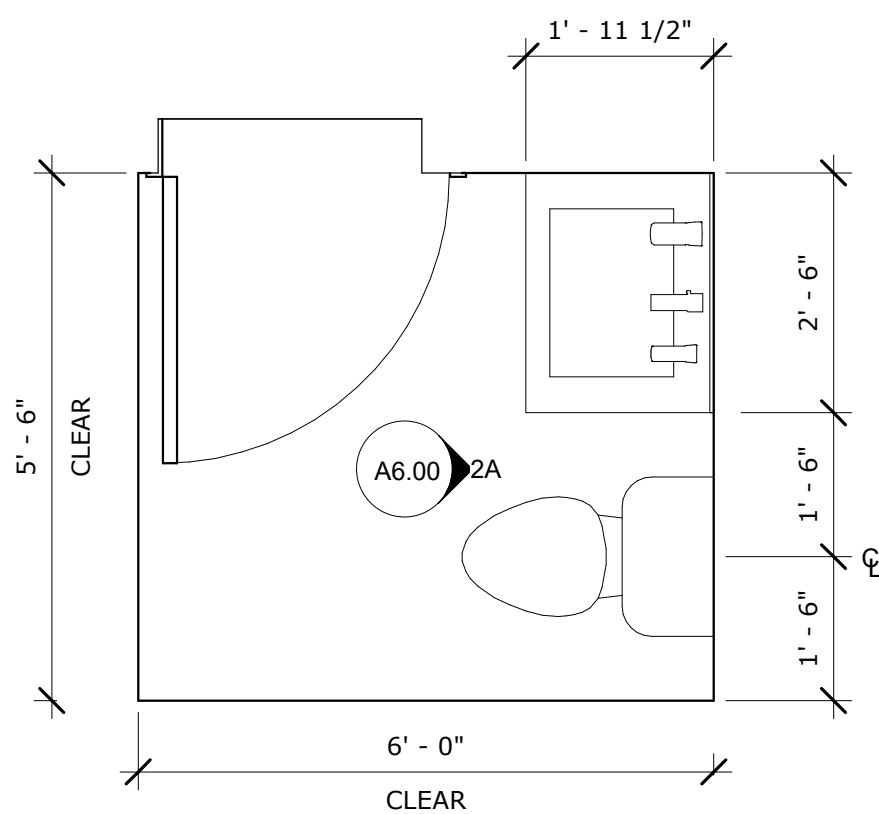
WALLS: PAINTED GWB - COLOR (P-01)

BASE: 4" WOOD BASE

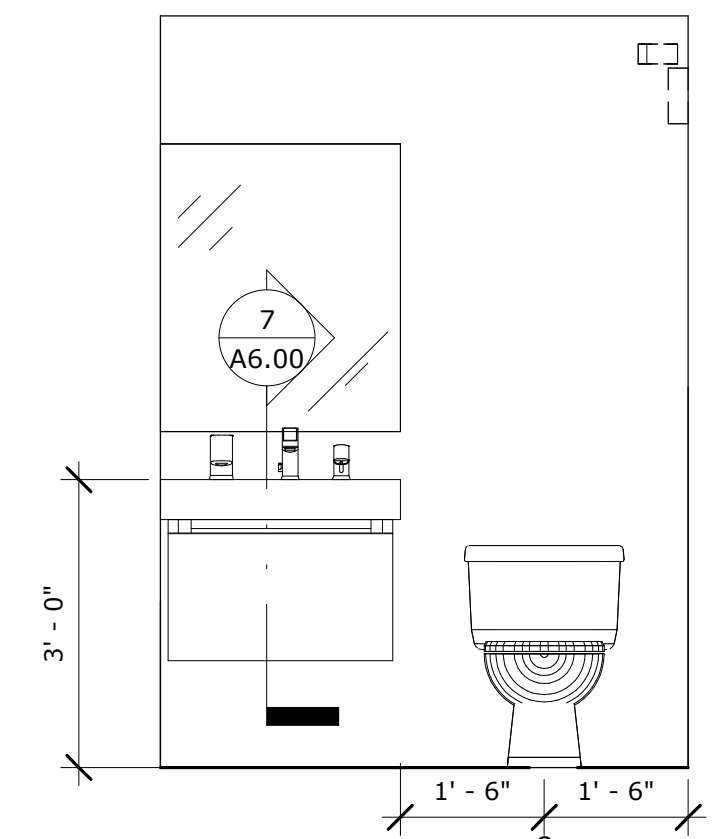
APPLIANCES:
APPLIANCES TO BE OWNER PROVIDED.

BATHROOM NOTES:

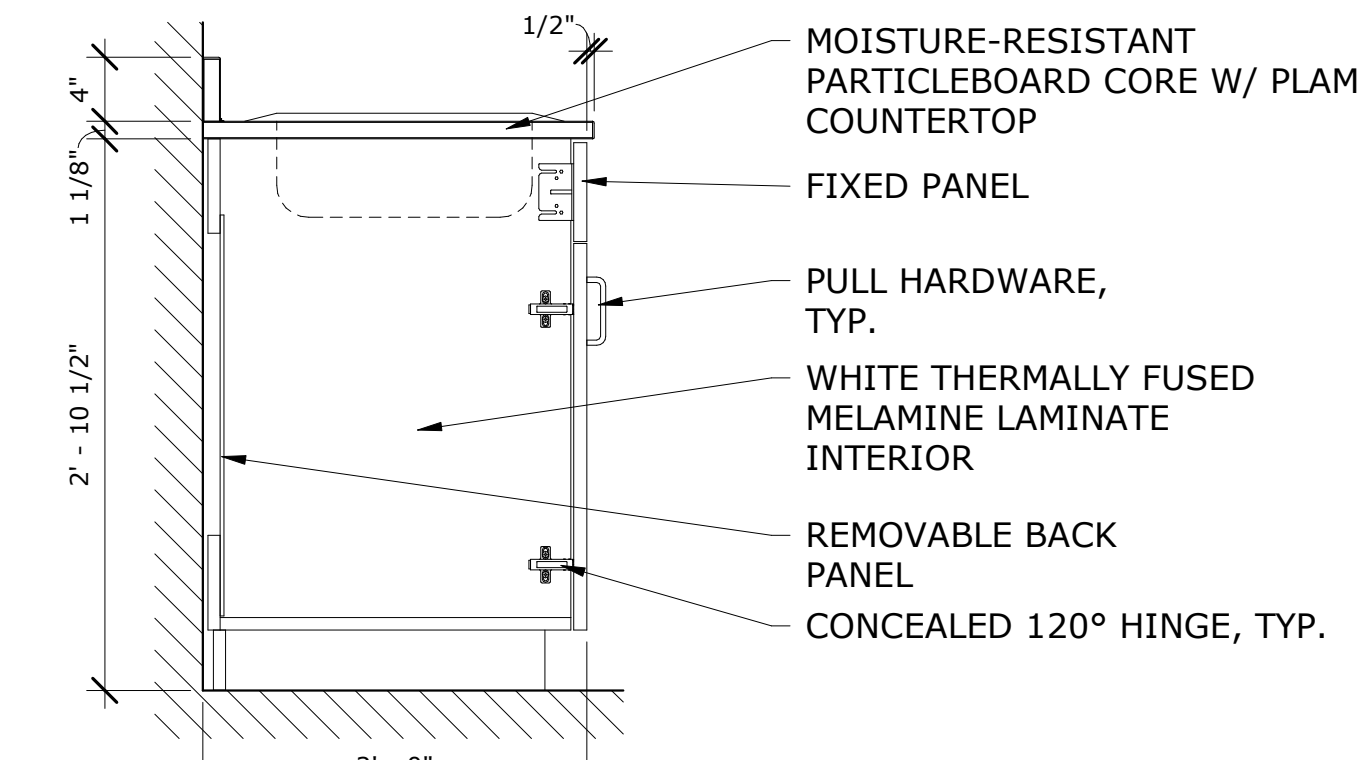
- PROVIDE TOILET PAPER HOLDER, PAPER TOWEL DISPENSOR, SOAP DISPENSOR, COAT HOOKS, MIRROR, AND GRAB BARS AT HEIGHTS/LOCATIONS PER ADA REQUIREMENTS.



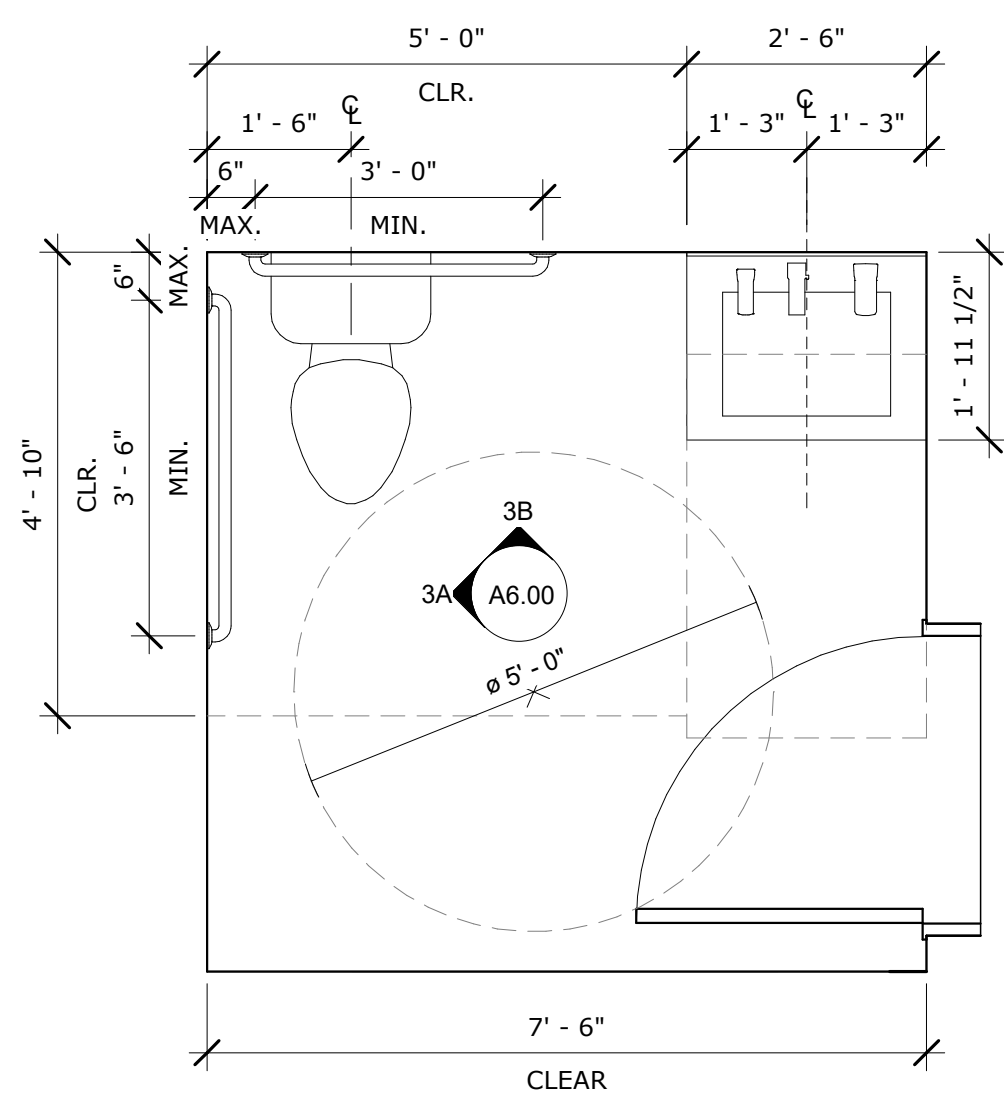
2 ENLARGED EMPLOYEE RESTROOM
1/2" = 1'-0"



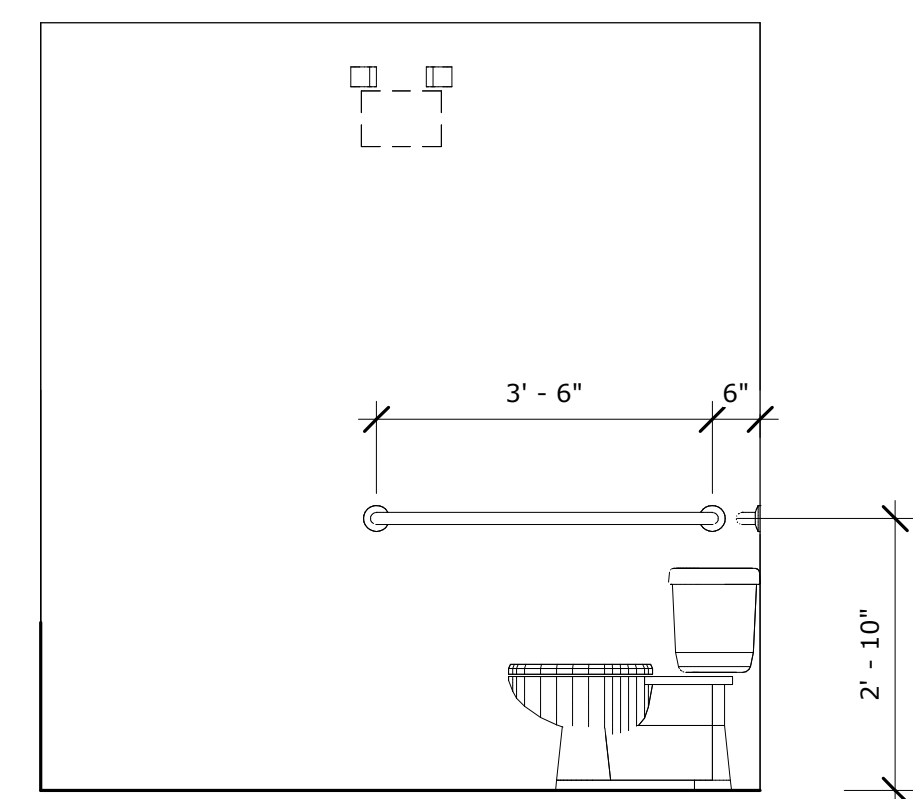
2A EMPLOYEE RESTROOM ELEVATION
1/2" = 1'-0"



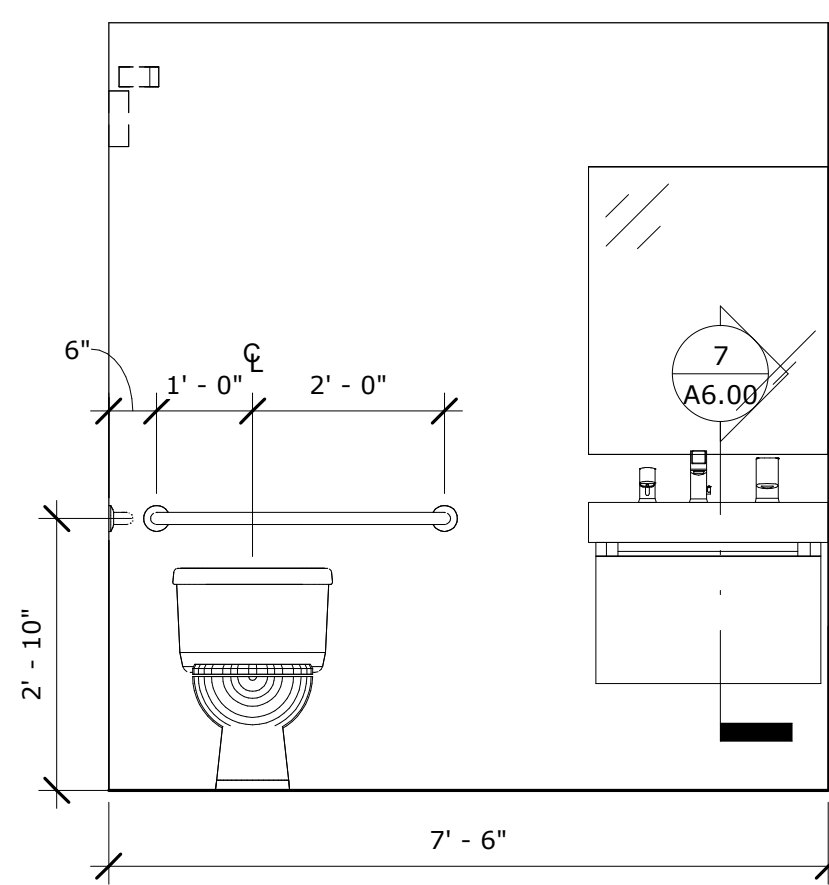
6 MILLWORK DETAIL - SINK BASE WITH PANEL
1" = 1'-0"



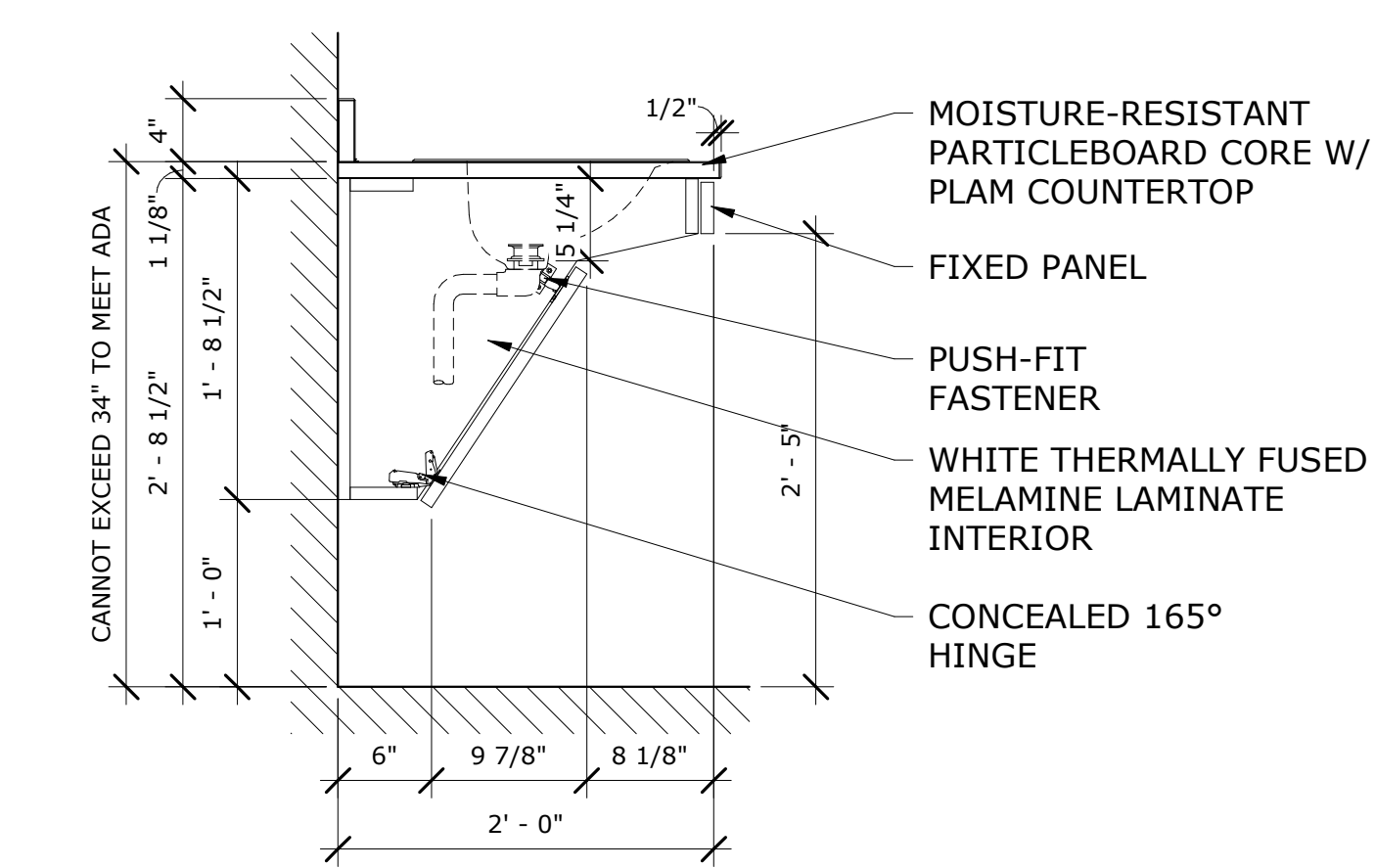
3 ENLARGED RESTROOM
1/2" = 1'-0"



3A RESTROOM - ELEVATION 1
1/2" = 1'-0"



3B RESTROOM - ELEVATION 2
1/2" = 1'-0"



7 MILLWORK DETAIL - ADA SINK BASE
1" = 1'-0"

CLIENT
ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT
ZDS
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699
1405 RHODE ISLAND AVENUE NW
WASHINGTON, DC 20005
+1.202.660.0555



CONSULTANT

PROJECT NAME
RECREATIONAL CANNABIS DISPENSARY

1112 RESERVOIR AVE
CRANSTON, RI 02910

PROJECT NO. 23111

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NO.	DESCRIPTION	DATE

DEVELOPMENT PLAN REVIEW

ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
RESTROOM & BREAK ROOM PLANS & ELEVATIONS

DRAWING NO.

A6.00

old DOOR SCHEDULE													
MARK	ROOM NAME & DESCRIPTION	WIDTH	HEIGHT	THICK	DOOR			FRAME			HWS	FIRE RATING	COMMENTS
					TYPE	MATL.	FIN.	TYPE	TYPE				
101	VESTIBULE	3' - 0"	6' - 11"	2"	EXISTING	---	---	SF	HW01	---	---	PROVIDE FROSTED GLASS FILM	
102	VESTIBULE	3' - 0"	6' - 11"	2"	EXISTING	---	---	SF	HW01	---	---	PROVIDE FROSTED GLASS FILM	
103	VESTIBULE	6' - 6"	221/256"	2"	EXISTING	---	---	SF	---	---	---	---	
104	MEN'S RESTROOM	3' - 0"	7' - 0"	1 3/4"	F	HM	HM1	HM1	HW06	---	---	---	
105	WOMEN'S RESTROOM	3' - 0"	7' - 0"	1 3/4"	F	HM	HM1	HM1	HW06	---	---	---	
106	SALES FLOOR SERVICE	3' - 0"	7' - 0"	1 3/4"	F	HM	HM1	WD	HW03	---	---	PREHUNG DUTCH DOOR WITHIN WALL; PROVIDE MATCHING CAP;	
107	SALES FLOOR EMERGENCY EGRESS	3' - 0"	6' - 11"	2 17/128"	D	WD	---	HM1	HW02	---	---	---	
108	SECURITY	2' - 8"	6' - 8"	1 3/4"	G	HM	HM1	HM1	HW03	---	---	ONE-WAY GLASS	
109	BACK OF HOUSE	3' - 0"	7' - 0"	1 3/4"	N	HM	HM1	HM1	HW03	---	---	---	
110	CURB SIDE FULFILLMENT	3' - 0"	7' - 0"	1 3/4"	N	HM	HM1	HM1	HW03	---	---	---	
111	EMPLOYEE RESTROOM	3' - 0"	7' - 0"	1 3/4"	F	HM	HM1	HM1	HW06	---	---	---	
112	MAINTENANCE	2' - 10"	6' - 8"	1 3/4"	F	HM	HM1	HM1	HW04	---	---	---	
113	OFFICES	3' - 0"	7' - 0"	1 3/4"	F	HM	HM1	HM1	HW03	---	---	---	
114	DELIVERY	3' - 0"	7' - 0"	1 3/4"	N	HM	HM1	HM1	HW03	---	---	---	
115	VAULT ENTRY	3' - 0"	7' - 0"	1 3/4"	F	HM	HM1	HM1	HW03	---	---	GC TO PROVIDE POWER TO DOOR FOR SECURITY ACCESS	
115A	VAULT FULFILLMENT	3' - 0"	7' - 0"	1 3/4"	N	HM	HM1	HM1	HW03	---	---	GC TO PROVIDE POWER TO DOOR FOR SECURITY ACCESS	
116	DELIVERY EGRESS	3' - 0"	7' - 0"	1 3/4"	F	HM	HM1	ALUMINUM	HW08	---	---	GC TO PROVIDE POWER TO DOOR FOR SECURITY ACCESS	
117	UTILITIES	2' - 10"	6' - 8"	1 3/4"	F	HM	HM1	HM1	HW04	---	---	---	
118	IT / DATA ROOM	2' - 8"	6' - 8"	1 3/4"	F	HM	HM1	HM1	HW04	---	---	---	
119	SERVICE EGRESS	4' - 2"	6' - 11"	2 17/128"	EXISTING	---	---	---	HW01	---	---	GC TO PROVIDE POWER TO DOOR FOR SECURITY ACCESS	

GENERAL DOOR NOTES

- REFER TO MANUFACTURER FOR EXACT R.O. DIMENSIONS.
- PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
- THRESHOLDS TO CONFORM TO ADA STANDARDS.
- GLAZING IN ALL EXTERIOR DOORS AND SIDELIGHTS TO BE TEMPERED INSULATED LOW-E ARGON FILLED GLASS.
- GLAZING IN ALL INTERIOR DOORS AND SIDELIGHTS TO BE CLEAR TEMPERED GLASS, U.N.O.
- ALL PUBLIC & UNIT ENTRY DOORS TO HAVE FULLY WELDED FRAMES, COORDINATE R.O. WITH STRUCTURAL FRAMING.
- ALL INTERIOR UNIT DOOR SHALL BE KNOCKDOWN WELDED FRAME OR PREHUNG WOOD FRAME - ZDS TO MAKE DECISION
- PROVIDE A KNURLED FINISH ON LEVERS ON THE KEY SIDE OF ALL DOORS THAT LEAD TO HAZARDOUS AREA, SPECIFICALLY ELECTRICAL AND MECHANICAL.
- DOOR CLOSERS SHALL NOT BE VISIBLE FROM THE PUBLIC (CORRIDOR) SIDE OF DOORS.
- COORDINATE DOORS WITH ACCESS CONTROL AND CARD READERS BY OWNER.
- COORDINATE LOCATION OF ANY ADA ACTUATOR DOORS AS REQUIRED WITH ELECTRICAL REQUIREMENTS. (ZDS TO CONFIRM NONE ARE REQUIRED.)
- REFER TO FLOOR PLANS FOR EXACT DOOR SWINGS.
- HARDWARE SUPPLIER TO PROVIDE HARDWARE IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
- ALL EXTERIOR ALUMINUM DOORS AND FRAMES TO BE DARK BRONZE, CLEAR ANODIZED, ETC. (ZDS TO CONFIRM)
- COORDINATE ALL CORES AND KEYING WITH OWNERSHIP.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE DOOR HARDWARE PACKAGE.
- REFER TO FIRE RATING OF ALL WALLS ON CODE SHEET. DOORS AND OPENINGS SHALL MAINTAIN FIRE RATING PER THE CODE SHEET. ALL COMPONENTS OF THE DOOR (FRAME, HARDWARE, ETC.) ARE TO BE COMPATIBLE WITH THE LISTED RATING.
- GLAZING IN FIRE RATED DOORS TO BE FIRELITE PLUS.
- UNDERCUT OR PROVIDE LOUVERS IN LAUNDRY DOORS AS REQ'D BY WASHER/DRYER MANF FOR VENTING.
- PROVIDE PANIC HARDWARE AT ALL ELECTRICAL ROOMS WITH SERVICES RATED AT 800 AMP OR GREATER

DOOR BASIS OF DESIGN

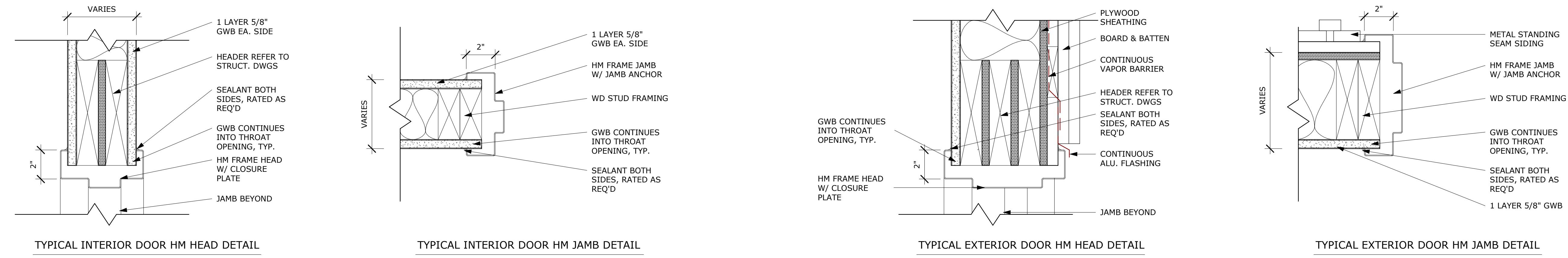
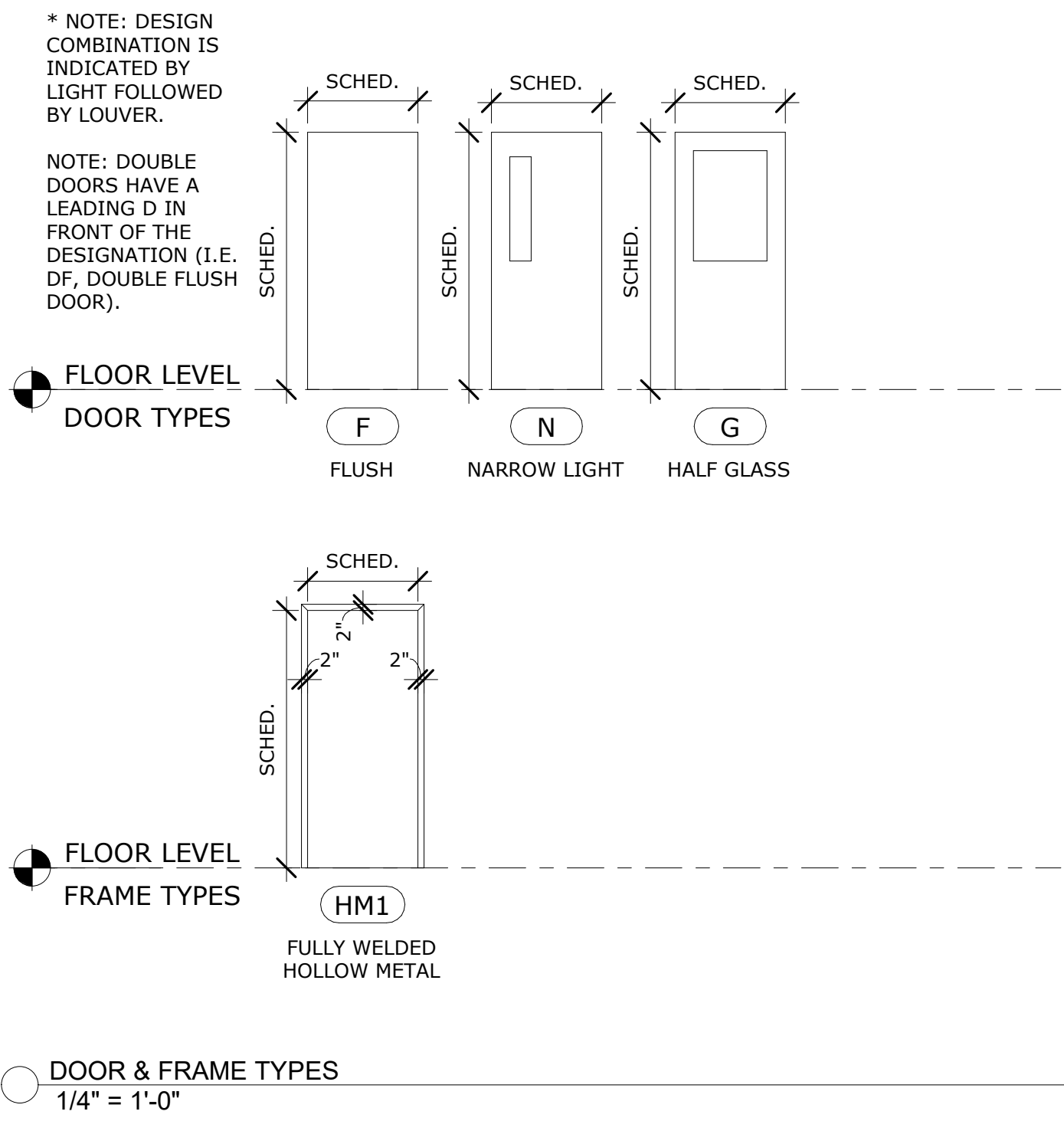
ENTRY DOORS SHALL BE XX MANUFACTURER AND STYLE.
 INTERIOR UNIT DOORS SHALL XX MANUFACTURER AND STYLE

DOOR HARDWARE SCHEDULE

HW-01 (ENTRY)	HW-05
4 HEAVY-WEIGHT HINGE	3 HEAVY WEIGHT HINGES
1 LOCK CYLINDER	1 EXIT DEVICE TRIM - PULL
1 EXIT DEVICE	1 EXIT DEVICE
1 CLOSER	1 CLOSER
1 THRESHOLD	1 THRESHOLD
1 WEATHER STRIPPING	1 ELECTRIC STRIKE
1 CREDENTIAL READER	HW-06
	3 HINGES
HW-02 (EXTERIOR SECURE DOOR)	1 CLOSER
4 HEAVY-WEIGHT HINGE	1 PRIVACY LOCKSET - LEVER
1 LOCK CYLINDER	1 WALL STOP
1 EXIT DEVICE	3 DOOR SILENCERS
1 CLOSER	1 SOUND GASKETING
1 THRESHOLD	HW-07 (NOT USED)
1 WEATHER STRIPPING	3 HINGES
HW-03 (INTERIOR SECURE DOOR)	1 STOREROOM LOCKSET - LEVER
3 HINGES	1 STOP
1 STOREROOM LOCKSET - LEVER	3 DOOR SILENCERS
1 CLOSER	HW-08 (EXTERIOR SECURE DOUBLE DOOR)
1 STOP	8 HEAVY-WEIGHT HINGE
3 DOOR SILENCERS	1 LOCK CYLINDER
1 CREDENTIAL READER	1 DUMMY TRIM AND FLUSH BOLT FOR
1 ELECTRIC STRIKE	HW-04 (INTERIOR DOOR)
	3 HINGES
	1 STOREROOM LOCKSET - LEVER
	2 EXIT DEVICE
	2 CLOSER
	1 THRESHOLD
	1 WEATHER STRIPPING
	1 ELECTRIC STRIKE
	1 CREDENTIAL READER

NOTE:

- HARDWARE FINISH TO BE REVIEWED W/ OWNER/ARCHITECT
- REFER TO PLANS - PROVIDE DOUBLE THE QUANTITY FOR 2 DOORS
- PROVIDE CARD READER AND SECURITY ACCESS TO DISPENSARY EXTERIOR AND INTERIOR DOORS - COORD REQUIREMENTS WITH OWNERSHIP/OPERATOR



CLIENT
 ANCORA ADVISORS LLC
 187 SHADOW BROOK DRIVE
 WARWICK, RI 02886

ARCHITECT

 ZDS inc.
 2 CHARLES STREET, SUITE A1
 PROVIDENCE, RI 02904
 +1.401.680.6699
 1405 RHODE ISLAND AVENUE NW
 WASHINGTON, DC 20005
 +1.202.660.0555



CONSULTANT

PROJECT NAME
RECREATIONAL CANNABIS DISPENSARY
 1112 RESERVOIR AVE
 CRANSTON, RI 02910

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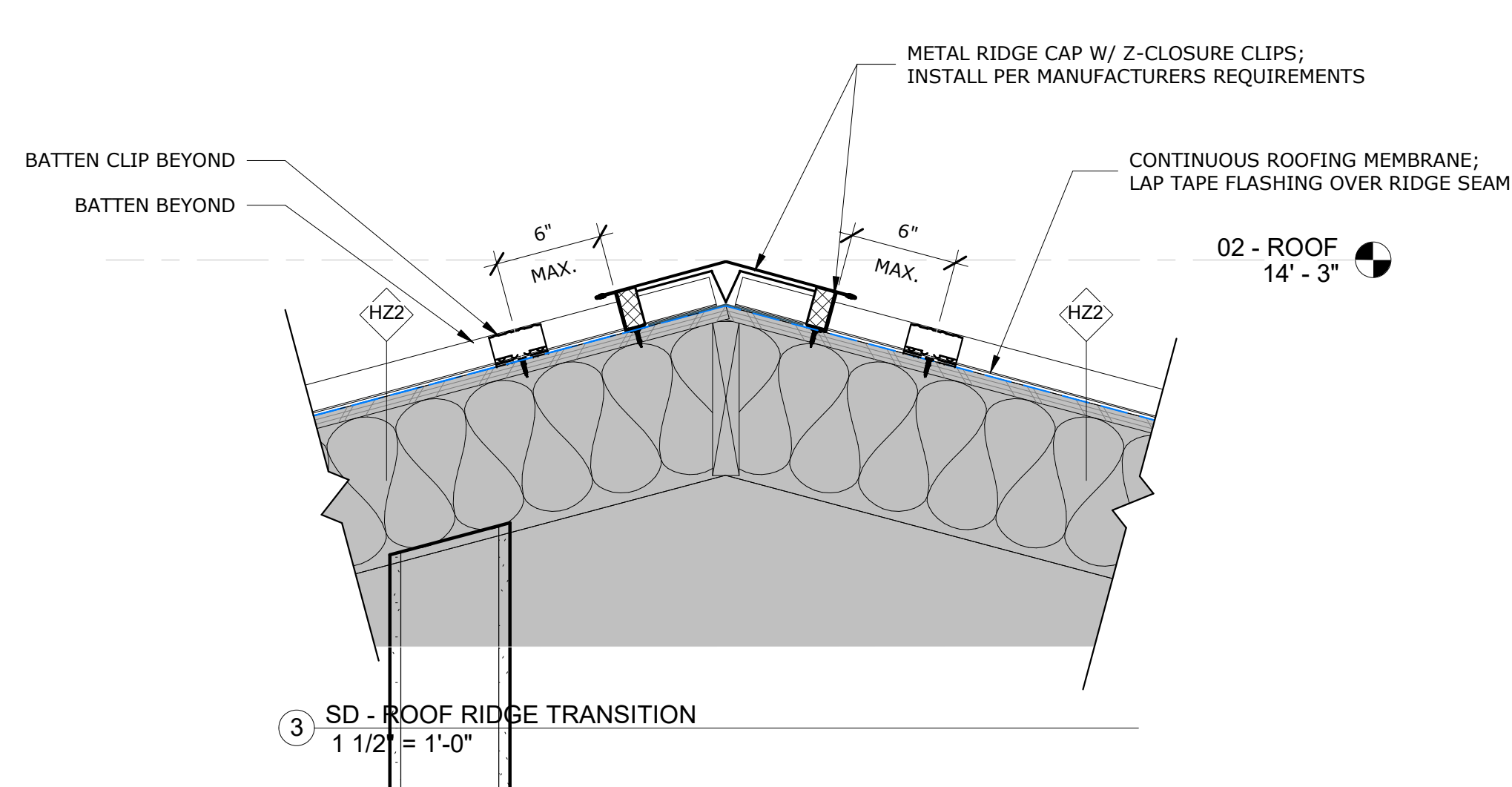
NO.	DESCRIPTION	DATE

DEVELOPMENT PLAN REVIEW

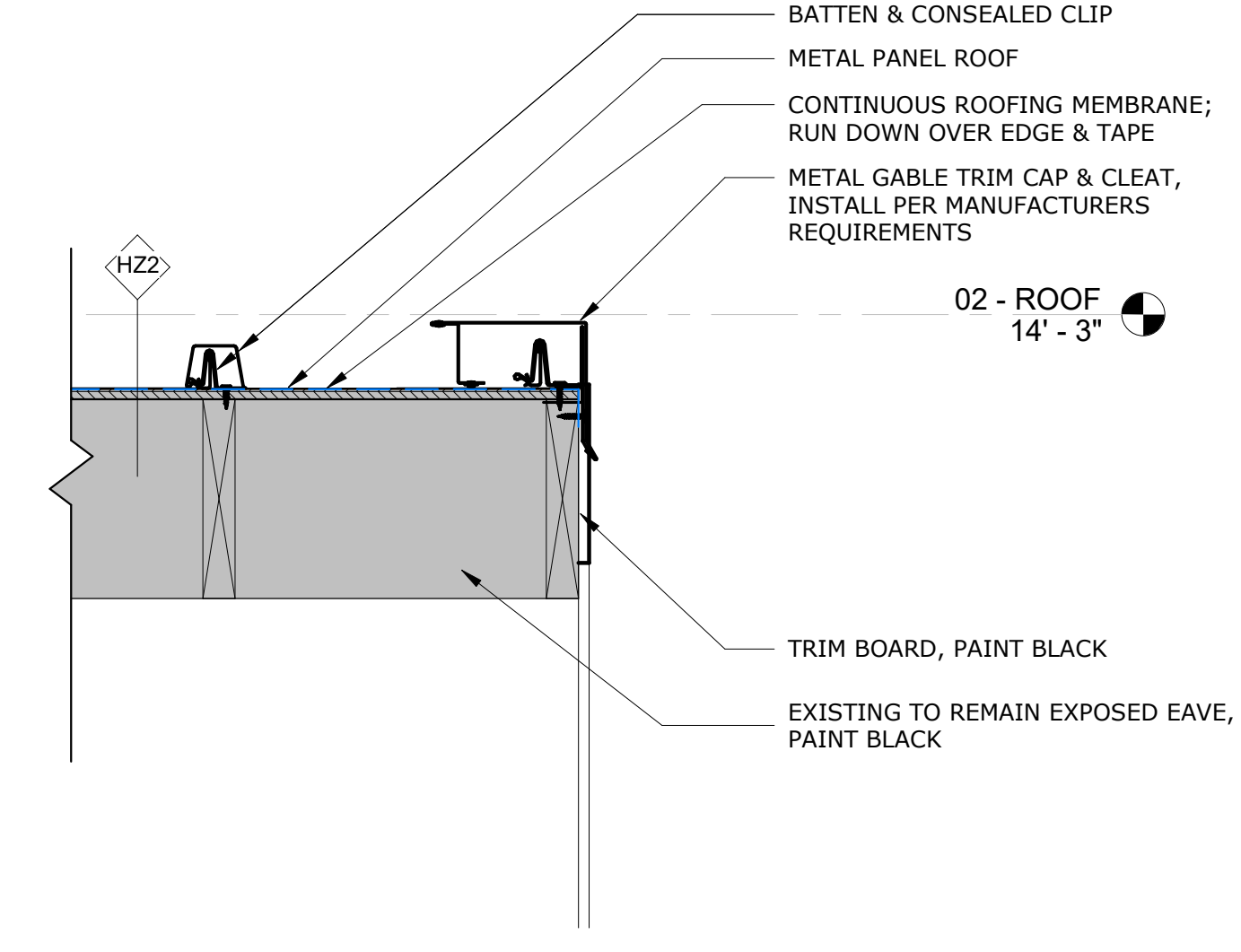
ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
DOOR TYPES & SCHEDULE

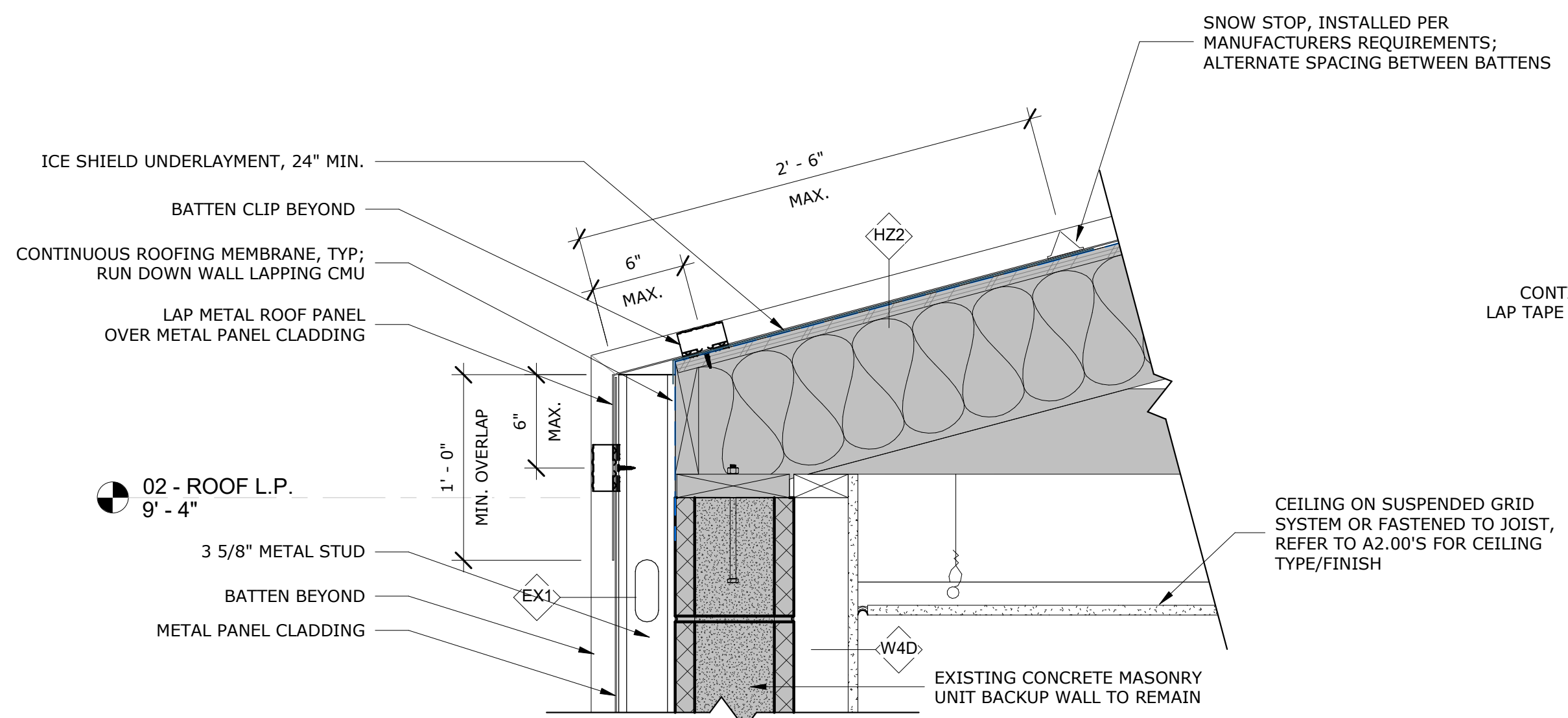
DRAWING NO.
A8.00



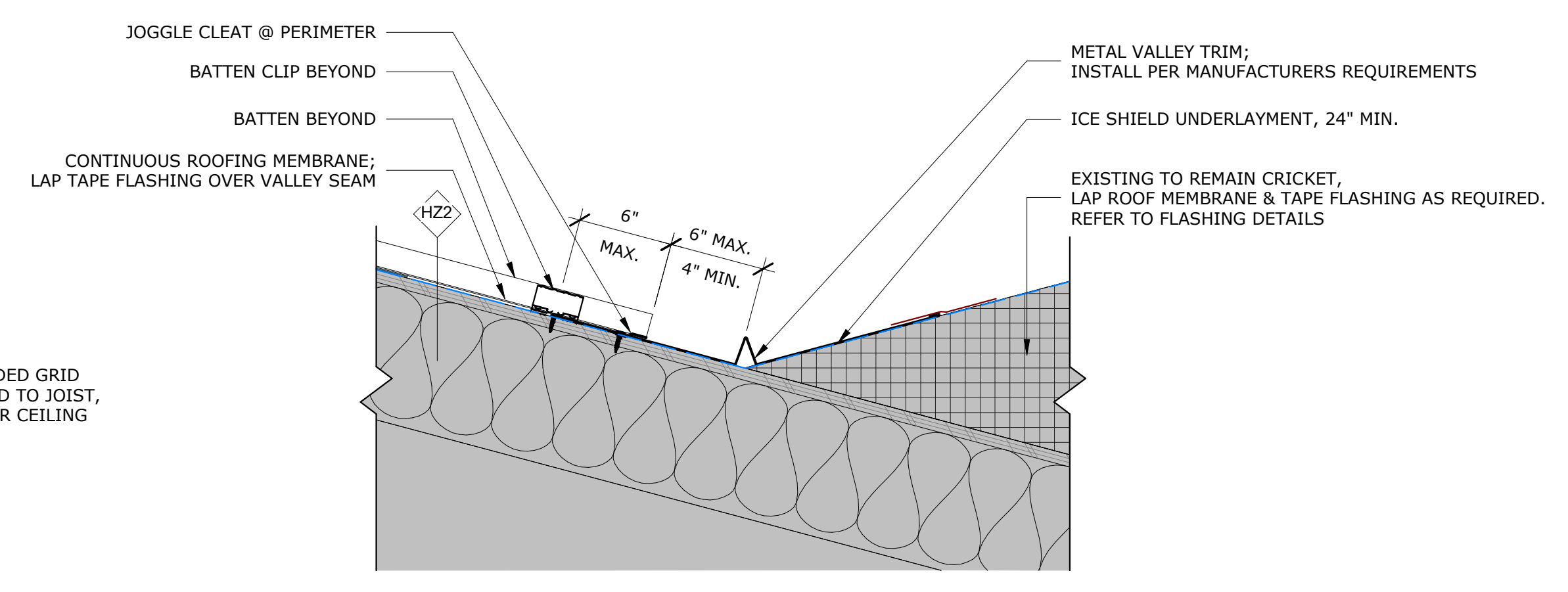
③ SD - ROOF RIDGE TRANSITION
1 1/2" = 1'-0"



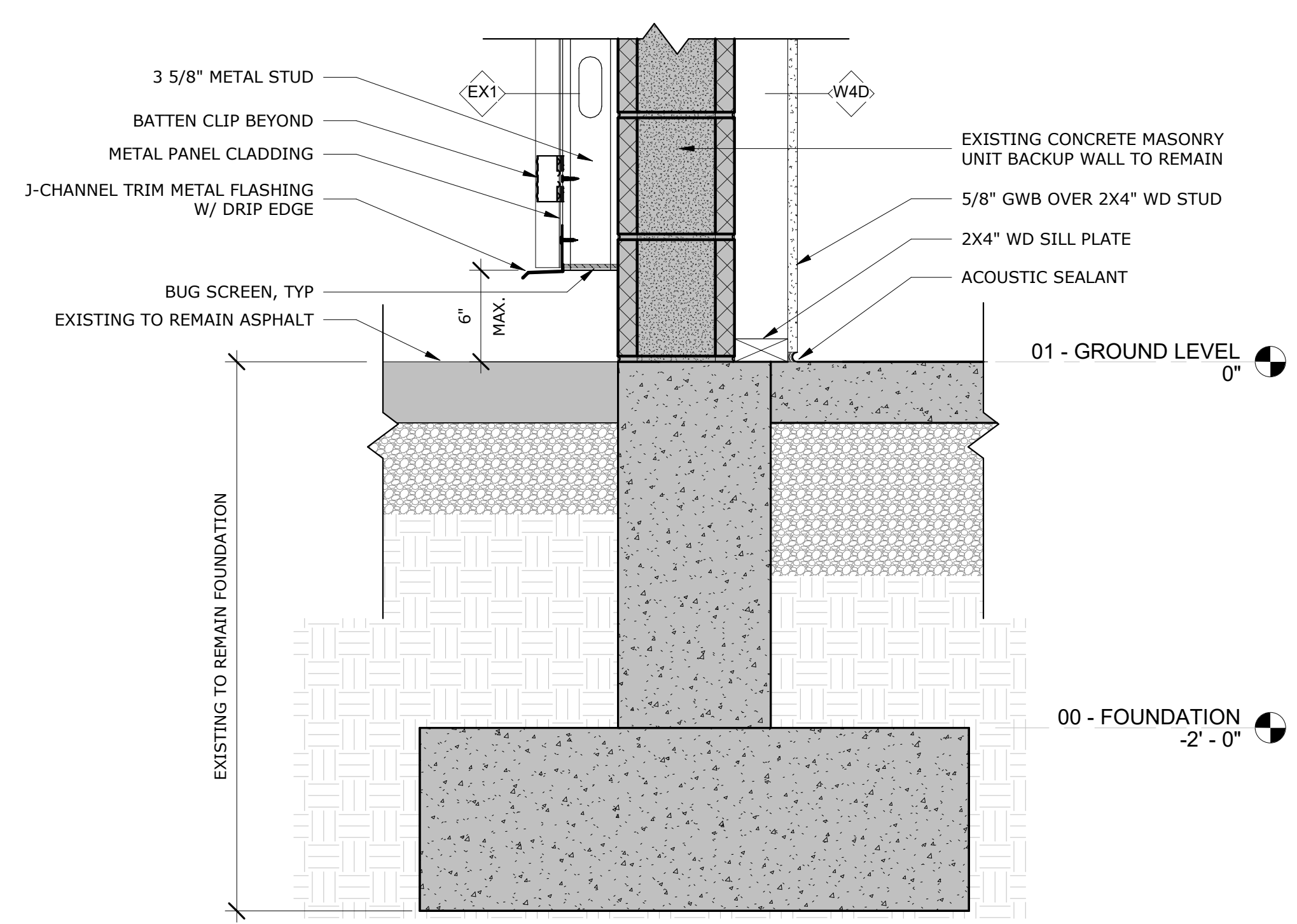
④ SD - ROOF RAKE TERMINATION
1 1/2" = 1'-0"



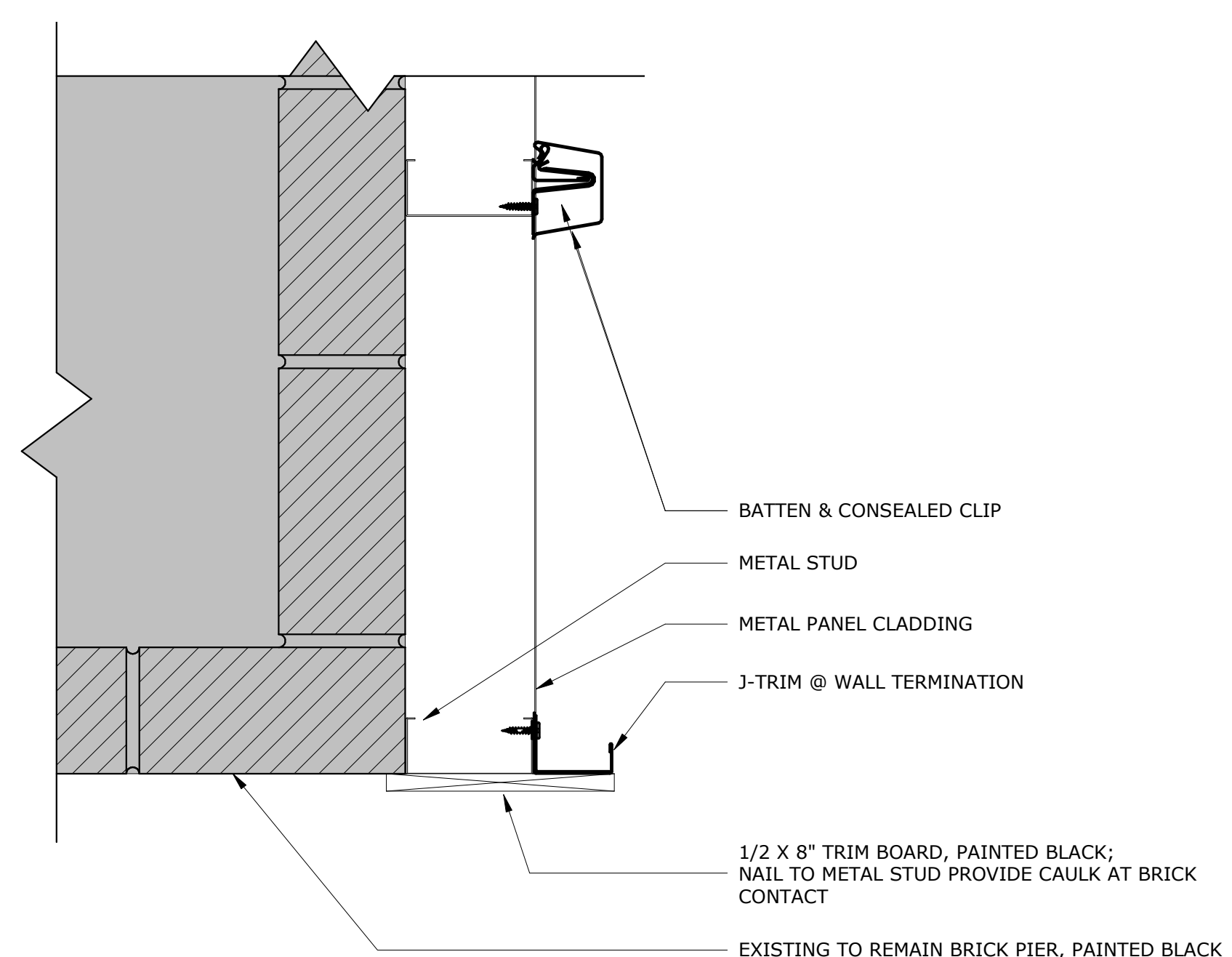
② SD - ROOF TO WALL TRANSITION
1 1/2" = 1'-0"



⑤ SD - ROOF VALLEY TRANSITION
1 1/2" = 1'-0"



① SD - METAL PANEL CLADDING BASE
1 1/2" = 1'-0"

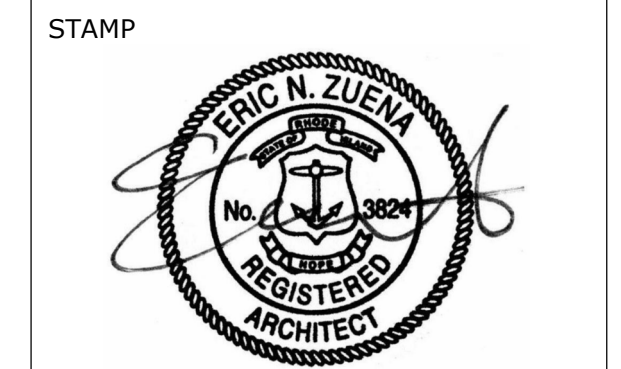


⑥ PD - METAL PANEL CLADDING TERMINATION
3" = 1'-0"

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CLIENT
ANCORA ADVISORS LLC
187 SHADOW BROOK DRIVE
WARWICK, RI 02886

ARCHITECT
ZDS
ZDS inc.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699
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REVISIONS		
NO.	DESCRIPTION	DATE

DEVELOPMENT PLAN REVIEW

ISSUED DATE: DECEMBER 15, 2023

SHEET TITLE
DETAILS

DRAWING NO.
A10.00

